

**Notice of a Meeting**  
**Dalworthington Gardens Planning and Zoning Commission**

**June 12, 2023 at 6:00 p.m.**

**City Hall Council Chambers, 2600 Roosevelt Drive, Dalworthington Gardens, Texas**

1. Call to Order
2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.
3. Minutes
  - i. 10-13-2022 Minutes.
  - ii. 12-05-2022 Minutes.
  - iii. 01-12-2023 Minutes.
  - iv. 02-22-2023 Minutes.
  - v. 05-22-2023 Minutes.
4. Discussion and possible regarding a replat application from Vitex Developments, LLC for existing Block 3, Lot 10, changing to Eleanor Estates, Block 1, Lots 1-6, with approximate current addresses being 2601 California Lane and 2615 California Lane, Dalworthington Gardens.
  - i. Conduct public hearing
  - ii. Discussion and action
5. Adjourn

**CERTIFICATION**

This is to certify that a copy of the **June 12, 2023** Planning and Zoning Commission Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, [www.cityofdwg.net](http://www.cityofdwg.net), in compliance with Chapter 551, Texas Government Code.

DATE OF POSTING: \_\_\_\_\_ TIME OF POSTING: \_\_\_\_\_ TAKEN DOWN: \_\_\_\_\_

\_\_\_\_\_  
Lola Hazel, City Administrator

**Dalworthington Gardens Planning and Zoning Commission**  
**Meeting Minutes**  
**October 13, 2022**

**1. Call to Order**

Chairperson Todd Batiste called the meeting to order at 6:00 p.m. with the following present:

**Members Present:**

Todd Batiste, Chairperson  
Maurice Clark, Vice Chairperson  
Johanna Storm  
Paul Sweitzer  
Brad Catlett, Alternate

**Members Absent:**

Brian Colin  
Anthony Parker, Alternate

**Staff Present:**

Lola Hazel, City Administrator

**2. Approval of Minutes**

- i. April 25, 2022 Minutes**
- ii. May 16, 2022 Minutes**
- iii. August 22, 2022 Minutes**
- iv. September 13, 2022 Minutes**

A motion was made by Commissioner Paul Sweitzer and seconded by Commissioner Johanna Storm to approve items 2(i) through 2(iv).

Motion carried by the following vote:

Ayes: Members Clark, Storm, Sweitzer, and Catlett

Nays: None

**3. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding mobile food units and mobile food establishments.**

- i. Public hearing**
- ii. Discussion and possible action**

Background information on this item: Staff brought this ordinance to council to propose changes. The reason being is two different types of food trucks are defined in the ordinance, are treated completely different, and staff didn't understand the reasoning behind it. The following represent thoughts from council on desired changes.

- Combine definition so there is only one definition for "food truck" but make sure it still excludes human pushed or pulled cart.
- Allow both mobile food establishments and mobile food units outright in current zoning districts, but do not allow to stay overnight.
  - Overnight stay would require a special exception approval.
- Current allowed hours of operation are 7am-9pm.

Chairman Todd Batiste opened the public hearing at 6:34 p.m.

Cathy Stein, 2622 Clover Lane: Spoke to City Council's intentions with the new ordinance language.

With no one else desiring to speak, the public hearing was closed at 6:40 p.m.

The Commission suggested the following ordinance changes:

- For permit – food truck owner pulls the permit. The property OWNER would pull any special exception needed which is outlined below.
- Special exception – only required if staying beyond one day.
- Overnight and gone, no special exception needed. No longer than a 24-hour period for hours.
- Neither type of truck requires a SE for 24-hour period, but if want longer, the property owner needs to request a SE.
- Put the time frame of 24 hours in all zoning districts where food trucks are allowed.

A motion was made by Commissioner Johanna Storm and seconded by Commissioner Paul Sweitzer to approve the suggested changes.

Motion carried by the following vote:

Ayes: Members Clark, Storm, Sweitzer, and Catlett

Nays: None

**4. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding agrihood regulations.**

- i. Public hearing**
- ii. Discussion and possible action**

Background information on this item: Council would like to begin the process of adding “agrihood” as an allowed use in city ordinances. The proposed additions to the comp plan are being provided. Bullet points are provided below on how this could be accomplished (taken directly from comp plan).

- Add a Planned Development Agrihood (PD-AH) use to the ordinances.
- Definition: An organized mixed-use community that integrates agricultural and food service commercial businesses, with residential uses, and open spaces that might be used as parks or community gardens.
- The Planned Development shall provide an orderly transition from commercial uses to the Large Lot Residential uses and incorporate suitable separation barriers with a preference to vegetated barriers in lieu of hardened barriers such as fences.
- Uses other than large lot residential uses shall be planned development.
- Two areas in PD-AH
  - Low Density Zone:
    - Includes the frontage along Roosevelt Drive and extending 200 feet to the east from the Roosevelt Drive right-of-way line
    - Shall maintain the Large Lot Residential uses
  - Agrihood Zone:
    - Includes the Bowen Road frontage and extending to the Low Density Zone.
    - May include Large Lot Residential uses but may also include a mixture of Medium Density Single Family Garden Homes, and Commercial Uses with a preference toward agricultural related businesses (vegetable and meat markets, farm and ranch supply, etc.) and restaurants.
      - Garden Home developments shall include 10 percent open space for parks and community gardens.
    - Mixed use within individual structures will be allowed provided such structures do not exceed two stories.
- Sample Use Matrix to Consider:
  - P = Permitted use
  - S = Specific use permit use

Agricultural use	P
Bed and breakfast	P

Boutique hotel	P
Brewpub	S
Dwelling units located above the ground floor	S
Farmers market	S
Fitness club, gymnasium, gymnastics, or similar use	P
Food and beverage retail sales	P
Garden home	S
Greenhouse or plant nursery	S
Grocery store	P
Hotel, full service	S
Office/retail	S
Pet store, kennel, animal boarding (no outside runs)	S
Private club	S
Restaurant or cafeteria (carry-out only) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (indoor service) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (with drive-through window or drive-in service)	S
Retail store (no drive-through service)	P
Retail store (with drive-through service)	S
Studios, photo, music, art, dance, dojo, health, etc.	P
Tavern/Bar	S
Winery	S

Chairman Todd Batiste opened the public hearing at 7:07 p.m.

Cathy Stein, 2622 Clover Lane: spoke to this being her request to get discussion started on this use and explained the use.

With no one else desiring to speak, the public hearing was closed at 7:13 p.m.

The item was continued to January 12, 2023 at 6:00 p.m.

**5. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding garden home regulations.**

- i. Public hearing**
- ii. Discussion and possible action**

Background information on this item: Council would like to begin the process of changing the garden home ordinance to match the Comp Plan. Below are thoughts provided by council and staff's comments on what current ordinance or Comp Plan notes.

\* Possible garage entry orientation restrictions

- The council would like a rear garage orientation requirement considered with an alleyway for guest parking. Preferably no parking in front of structure or on street.

\* Consider reducing somewhat the current minimum house size

- Current size requirement is 2,000 SF, and comp plan revision calls for 1,800 SF size requirement for each dwelling unit with density limited to a maximum of 5 units per acre.

\* Should garden homes be limited to two stories and if so, what is a reasonable maximum height?

- Fire truck access should be considered when max height is set.

\*Should the roof pitch requirement change to accommodate fire truck access for maximum height of structure?

- Current roof pitch requirement for garden homes is 8/12 roof pitch and not less than a 40-year quality architectural profile shingle.

\* Should the minimum yard setback that adjoins another zoning district need to match that of the other district if the other district's set back is larger?

- Current garden home setback is smaller than other residential which means garden homes could be closer to an adjoining property.

YARDS (n-3) (min. in ft.)	
Front	15
Side - interior lot	5
Side - corner lot	15
Rear (n-4)	15
Rear - double frontage	-

\* Is there a safety reason for ensuring more than one entrance/exit when there are more than X number of garden homes?

- The comp plan currently says this, “A secondary private access drive or private street should be provided to minimize the access points to the public street.”

\* Are any additional ordinances needed to ensure storm water is handled properly?

- Garden homes currently have a higher allowance of impervious surface coverage. **Other residential districts allow 40% max coverage.**

LOT	
Width (min. in ft.)	50
Coverage, building (max. % of lot area)	50
Coverage, impervious surface (max. % of lot area)	70

\* Are parking requirements adequate and/or is there a need to state something about the minimum size for a two-car garage in a note to the table or that on street parking does not count if guest spaces are also required?

- Current parking is 2 for garage, 2 guest spaces

\* There is already a lot size minimum in the current ordinance. Are there further density or offsetting greenspace requirements that need to be added to align the GH zoning with the language in the working draft of the comp plan?

- Current lot area minimum size per dwelling unit is 6,000 square feet. Again, the comp plan calls for max density of 5 units per acre. One acre equals 43,560 square feet. If the dwelling unit is 1,800, account for greenspace and other requirements for the remaining square footage. A percentage could be added for green space. An example is the City’s mixed-use overlay district which requires 20% “landscaped open space”.

\* Does there need to be a different road width minimum than is currently listed in the subdivision ordinances?

- Current road width per City Subdivision Ordinance:

**Sec. 10.02.222 Streets, right-of-way**

(a) The subdivider shall provide for or cause the dedication of right-of-way within the subdivision, as follows:

<b>Major Streets</b>	<b>Right-of-Way Width as Approved by City Council</b>
Collector	60 feet
Minor or local street	50 feet
Alley	20 feet

(b) The right-of-way, in any event, shall be of such width that side slopes, if required, would not be steeper than three (3) horizontal to one (1) vertical within the limits of the dedicated right-of-way.

Chairman Todd Batiste opened the public hearing at 7:21 p.m.

Cathy Stein, 2622 Clover Lane, spoke to questions posed by council for ordinance.

With no one else desiring to speak, the public hearing was closed at 7:22 p.m.

The item was continued to January 12, 2023 at 6:00 p.m.

**6. Adjourn**

The meeting was adjourned at 7:38 p.m.

**Dalworthington Gardens Planning and Zoning Commission**  
**Meeting Minutes**  
**December 5, 2022**

**1. Call to Order**

Chairperson Todd Batiste called the meeting to order at 6:00 p.m. with the following present:

**Members Present:**

Todd Batiste, Chairperson  
Maurice Clark, Vice Chairperson  
Brad Catlett, Alternate

**Members Absent:**

Brian Colin  
Johanna Storm  
Paul Sweitzer  
Anthony Parker, Alternate

**Staff Present:**

Sandra Ma, Court Administrator

- 2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.**

None.

- 3. Discuss and possible action regarding an application by The Montessori Academy of Arlington for a Special Exception in accordance with Zoning Ordinance Section 14.02.21(c)(7) "Screening Device, over height or in required in front yard" to allow for an 8-foot fence around the property.**

Background information on this item: The Montessori Academy of Arlington located at 3428 W. Arkansas Lane, DWG requested a special exception to construct an 8' foot fence.

A motion was made by Commissioner Maurice Clark and seconded by Commissioner Brad Catlett to approve an application by The Montessori Academy of Arlington for a Special Exception in accordance with Zoning Ordinance Section 14.02.21(c)(7) "Screening Device, over height or in required in front yard" to allow for an 8-foot fence around the property.

Motion carried by the following vote:

Ayes: Members Clark and Catlett

Nays: None

**4. Adjourn**

The meeting was adjourned at 6:12 p.m.

**Dalworthington Gardens Planning and Zoning Commission**  
**Meeting Minutes**  
**January 12, 2023**

**1. Call to Order**

Chairperson Todd Batiste called the meeting to order at 6:00 p.m. with the following present:

**Members Present:**

Todd Batiste, Chairperson  
Maurice Clark, Vice Chairperson  
Johanna Storm  
Paul Sweitzer  
Anthony Parker, Alternate

**Members Absent:**

Brian Colin  
Brad Catlett, Alternate

**Staff Present:**

Lola Hazel, City Administrator

- 2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.**

None.

- 3. Discussion and possible action regarding an application from Chris Labra with NewGen Printing for a special exception at 2529 W. Arkansas Lane for mobile food units to be on property longer than twenty-four hours in accordance with Section 14.02.321(c)(22) of City ordinances.**

Background information on this item: A request has been received from Chris Labra with NewGen Printing for a special exception to allow mobile food units to stay on site longer than twenty-four hours. The Commission's recommendation will go to City Council in February for final consideration.

A motion was made by Commissioner Paul Sweitzer and seconded by Commissioner Anthony Parker to approve an application from Chris Labra with NewGen Printing for a special exception at 2529 W. Arkansas Lane for mobile food units to be on property longer than twenty-four hours in accordance with Section 14.02.321(c)(22) of City ordinances.

Motion carried by the following vote:

Ayes: Members Clark, Storm, Sweitzer, and Parker

Nays: None

- 4. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding agrihood regulations.**

Background information on this item: Council would like to begin the process of adding "agrihood" as an allowed use in city ordinances. The proposed additions to the comp plan are being provided. Bullet points are provided below on how this could be accomplished (taken directly from comp plan).

- Add a Planned Development Agrihood (PD-AH) use to the ordinances.
- Definition: An organized mixed-use community that integrates agricultural and food service commercial businesses, with residential uses, and open spaces that might be used as parks or community gardens.



- The Planned Development shall provide an orderly transition from commercial uses to the Large Lot Residential uses and incorporate suitable separation barriers with a preference to vegetated barriers in lieu of hardened barriers such as fences.
- Uses other than large lot residential uses shall be planned development.
- Two areas in PD-AH
  - Low Density Zone:
    - Includes the frontage along Roosevelt Drive and extending 200 feet to the east from the Roosevelt Drive right-of-way line
    - Shall maintain the Large Lot Residential uses
  - Agrihood Zone:
    - Includes the Bowen Road frontage and extending to the Low Density Zone.
    - May include Large Lot Residential uses but may also include a mixture of Medium Density Single Family Garden Homes, and Commercial Uses with a preference toward agricultural related businesses (vegetable and meat markets, farm and ranch supply, etc.) and restaurants.
      - Garden Home developments shall include 10 percent open space for parks and community gardens.
    - Mixed use within individual structures will be allowed provided such structures do not exceed two stories.
- Sample Use Matrix to Consider:
  - P = Permitted use
  - S = Specific use permit use

Agricultural use	P
Bed and breakfast	P
Boutique hotel	P
Brewpub	S
Dwelling units located above the ground floor	S
Farmers market	S
Fitness club, gymnasium, gymnastics, or similar use	P
Food and beverage retail sales	P
Garden home	S
Greenhouse or plant nursery	S
Grocery store	P
Hotel, full service	S
Office/retail	S
Pet store, kennel, animal boarding (no outside runs)	S
Private club	S
Restaurant or cafeteria (carry-out only) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (indoor service) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (with drive-through window or drive-in service)	S
Retail store (no drive-through service)	P
Retail store (with drive-through service)	S

Studios, photo, music, art, dance, dojo, health, etc.	P
Tavern/Bar	S
Winery	S

The Commission’s notes are as follows for the creation of an ordinance:

- Like this as a PD-AH overlay district – this would be a brand new district
- Strongly encourage walkways as a separation barrier
- Leave the 200 feet language in there
- Definition is accurate
- Come back with a sample ordinance mirroring MU ordinance
- For use matrix – Take s off list – just have a list of permitted uses – list as use options
- Take drive thru language off of uses (dry cleaners is example)

The ordinance is to be presented at a future meeting.

**5. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding garden home regulations.**

Background information on this item: Council would like to begin the process of changing the garden home ordinance to match the Comp Plan. Below are thoughts provided by council and staff’s comments on what current ordinance or Comp Plan notes.

\* Possible garage entry orientation restrictions

- The council would like a rear garage orientation requirement considered with an alleyway for guest parking. Preferably no parking in front of structure or on street.

\* Consider reducing somewhat the current minimum house size

- Current size requirement is 2,000 SF, and comp plan revision calls for 1,800 SF size requirement for each dwelling unit with density limited to a maximum of 5 units per acre.

\* Should garden homes be limited to two stories and if so, what is a reasonable maximum height?

- Fire truck access should be considered when max height is set.

\*Should the roof pitch requirement change to accommodate fire truck access for maximum height of structure?

- Current roof pitch requirement for garden homes is 8/12 roof pitch and not less than a 40-year quality architectural profile shingle.

\* Should the minimum yard setback that adjoins another zoning district need to match that of the other district if the other district's set back is larger?

- Current garden home setback is smaller than other residential which means garden homes could be closer to an adjoining property.

<b>YARDS (n-3) (min. in ft.)</b>	
Front	15
Side - interior lot	5
Side - corner lot	15
Rear (n-4)	15
Rear - double frontage	-

\* Is there a safety reason for ensuring more than one entrance/exit when there are more than X number of garden homes?

- The comp plan currently says this, “A secondary private access drive or private street should be provided to minimize the access points to the public street.”

\* Are any additional ordinances needed to ensure storm water is handled properly?

- Garden homes currently have a higher allowance of impervious surface coverage. **Other residential districts allow 40% max coverage.**

<b>LOT</b>	
Width (min. in ft.)	50
Coverage, building (max. % of lot area)	50
Coverage, impervious surface (max. % of lot area)	70

\* Are parking requirements adequate and/or is there a need to state something about the minimum size for a two car garage in a note to the table or that on street parking does not count if guest spaces are also required?

- Current parking is 2 for garage, 2 guest spaces

\* There is already a lot size minimum in the current ordinance. Are there further density or offsetting greenspace requirements that need to be added to align the GH zoning with the language in the working draft of the comp plan?

- Current lot area minimum size per dwelling unit is 6,000 square feet. Again, the comp plan calls for max density of 5 units per acre. One acre equals 43,560 square feet. If the dwelling unit is 1,800, account for greenspace and other requirements for the remaining square footage. A percentage could be added for green space. An example is the City’s mixed-use overlay district which requires 20% “landscaped open space”.

\* Does there need to be a different road width minimum than is currently listed in the subdivision ordinances?

- Current road width per City Subdivision Ordinance:

**Sec. 10.02.222 Streets, right-of-way**

(a) The subdivider shall provide for or cause the dedication of right-of-way within the subdivision, as follows:

<b>Major Streets</b>	<b>Right-of-Way Width as Approved by City Council</b>
Collector	60 feet

Minor or local street	50 feet
Alley	20 feet

(b) The right-of-way, in any event, shall be of such width that side slopes, if required, would not be steeper than three (3) horizontal to one (1) vertical within the limits of the dedicated right-of-way.

A meeting was set for February 22, 2023 at 6 p.m. to discuss this ordinance.

**6. Adjourn**

The meeting was adjourned at 8:05 p.m.

**Dalworthington Gardens Planning and Zoning Commission**  
**Meeting Minutes**  
**February 22, 2023**

**1. Call to Order**

Chairperson Todd Batiste called the meeting to order at 6:00 p.m. with the following present:

**Members Present:**

Todd Batiste, Chairperson  
Maurice Clark, Vice Chairperson  
Johanna Storm  
Anthony Parker, Alternate

**Members Absent:**

Paul Sweitzer  
Brian Colin  
Brad Catlett, Alternate

**Staff Present:**

Lola Hazel, City Administrator

- 2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.**

None.

- 3. Discussion and possible action to consider an ordinance amending the Code of Ordinances, Chapter 14, Zoning, Section 14.02.031, Special Exception, to allow special exceptions for fence height.**
- i. Conduct public hearing**
  - ii. Discussion and action**

Background information on this item: After a recent special exception request for a fence, City Council instructed our attorney's office to ensure the appropriate special exception item included all fences. Special exceptions come to both Planning and Zoning and City Council for approval. Whereas, variances, which previously included fences, come to the Zoning Board of Adjustment for approval. The proposed highlighted item changes this so all fences not meeting ordinance requirements would follow a special exception process instead of a variance process.

Chairman Todd Batiste opened the public hearing at 6:05 p.m.

With no one desiring to speak, the public hearing was closed at 6:05 p.m.

A motion was made by Commissioner Anthony Parker and seconded by Commissioner Maurice Clark to approve an ordinance amending the Code of Ordinances, Chapter 14, Zoning, Section 14.02.031, Special Exception, to allow special exceptions for fence height.

Motion carried by the following vote:

Ayes: Members Clark, Storm, and Parker

Nays: None

- 4. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding agrihood regulations.**

Background information on this item: At the January 12, 2023 meeting, Planning and Zoning requested staff provide a sample ordinance for discussion. The following guidance was provided for said ordinance:

1. Agrihood planned development overlay district desired
2. Strongly encourage walkways as a separation barrier (this is not yet in the ordinance)
3. Use the definition provided
4. Provide list of permitted uses
5. Remove “drive thru” from uses and list more generically

Staff is providing an ordinance that mirrors the existing mixed-use overlay ordinance as it is also processed as a planned development. This gives the commission an idea of how such an ordinance can look. Based on what’s provided, the commission can decide if the desire is still to encourage walkways as a separation barrier and add that in appropriately.

**This information was provided at the January 12, 2023 Meeting:**

Council would like to begin the process of adding “agrihood” as an allowed use in city ordinances. The proposed additions to the comp plan are being provided. Bullet points are provided below on how this could be accomplished (taken directly from comp plan).

- Add a Planned Development Agrihood (PD-AH) use to the ordinances.
- Definition: An organized mixed-use community that integrates agricultural and food service commercial businesses, with residential uses, and open spaces that might be used as parks or community gardens.
- The Planned Development shall provide an orderly transition from commercial uses to the Large Lot Residential uses and incorporate suitable separation barriers with a preference to vegetated barriers in lieu of hardened barriers such as fences.
- Uses other than large lot residential uses shall be planned development.
- Two areas in PD-AH
  - Low Density Zone:
    - Includes the frontage along Roosevelt Drive and extending 200 feet to the east from the Roosevelt Drive right-of-way line
    - Shall maintain the Large Lot Residential uses
  - Agrihood Zone:
    - Includes the Bowen Road frontage and extending to the Low Density Zone.
    - May include Large Lot Residential uses but may also include a mixture of Medium Density Single Family Garden Homes, and Commercial Uses with a preference toward agricultural related businesses (vegetable and meat markets, farm and ranch supply, etc.) and restaurants.
      - Garden Home developments shall include 10 percent open space for parks and community gardens.
    - Mixed use within individual structures will be allowed provided such structures do not exceed two stories.
- Sample Use Matrix to Consider:
  - P = Permitted use
  - S = Specific use permit use

Agricultural use	P
Bed and breakfast	P
Boutique hotel	P
Brewpub	S
Dwelling units located above the ground floor	S
Farmers market	S
Fitness club, gymnasium, gymnastics, or similar use	P

Food and beverage retail sales	P
Garden home	S
Greenhouse or plant nursery	S
Grocery store	P
Hotel, full service	S
Office/retail	S
Pet store, kennel, animal boarding (no outside runs)	S
Private club	S
Restaurant or cafeteria (carry-out only) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (indoor service) (no drive-through window or drive-in service)	P
Restaurant or cafeteria (with drive-through window or drive-in service)	S
Retail store (no drive-through service)	P
Retail store (with drive-through service)	S
Studios, photo, music, art, dance, dojo, health, etc.	P
Tavern/Bar	S
Winery	S

The Commission made the following suggested additions: Add agricultural definition to MU ordinance and retitle ordinance as MU/AG; take out “substantially similar” for uses.

No action taken.

**5. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding garden home regulations.**

Background information on this item: Council would like to begin the process of changing the garden home ordinance to match the Comp Plan. Below are thoughts provided by council and staff’s comments on what current ordinance or Comp Plan notes.

\* Possible garage entry orientation restrictions

- The council would like a rear garage orientation requirement considered with an alleyway for guest parking. Preferably no parking in front of structure or on street.

\* Consider reducing somewhat the current minimum house size

- Current size requirement is 2,000 SF, and comp plan revision calls for 1,800 SF size requirement for each dwelling unit with density limited to a maximum of 5 units per acre.

\* Should garden homes be limited to two stories and if so, what is a reasonable maximum height?

- Fire truck access should be considered when max height is set.

\*Should the roof pitch requirement change to accommodate fire truck access for maximum height of structure?

- Current roof pitch requirement for garden homes is 8/12 roof pitch and not less than a 40-year quality

architectural profile shingle.

\* Should the minimum yard setback that adjoins another zoning district need to match that of the other district if the other district's set back is larger?

- Current garden home setback is smaller than other residential which means garden homes could be closer to an adjoining property.

YARDS (n-3) (min. in ft.)	
Front	15
Side - interior lot	5
Side - corner lot	15
Rear (n-4)	15
Rear - double frontage	-

\* Is there a safety reason for ensuring more than one entrance/exit when there are more than X number of garden homes?

- The comp plan currently says this, “A secondary private access drive or private street should be provided to minimize the access points to the public street.”

\* Are any additional ordinances needed to ensure storm water is handled properly?

- Garden homes currently have a higher allowance of impervious surface coverage. **Other residential districts allow 40% max coverage.**

LOT	
Width (min. in ft.)	50
Coverage, building (max. % of lot area)	50
Coverage, impervious surface (max. % of lot area)	70

\* Are parking requirements adequate and/or is there a need to state something about the minimum size for a two car garage in a note to the table or that on street parking does not count if guest spaces are also required?

- Current parking is 2 for garage, 2 guest spaces

\* There is already a lot size minimum in the current ordinance. Are there further density or offsetting greenspace requirements that need to be added to align the GH zoning with the language in the working draft of the comp plan?

- Current lot area minimum size per dwelling until is 6,000 square feet. Again, the comp plan calls for max density of 5 units per acre. One acre equals 43,560 square feet. If the dwelling unit is 1,800, account for greenspace and other requirements for the remaining square footage. A percentage could be added for green space. An example is the City’s mixed-use overlay district which requires 20% “landscaped open space”.

\* Does there need to be a different road width minimum than is currently listed in the subdivision ordinances?

- Current road width per City Subdivision Ordinance:

**Sec. 10.02.222 Streets, right-of-way**



(a) The subdivider shall provide for or cause the dedication of right-of-way within the subdivision, as follows:

<b>Major Streets</b>	<b>Right-of-Way Width as Approved by City Council</b>
Collector	60 feet
Minor or local street	50 feet
Alley	20 feet

(b) The right-of-way, in any event, shall be of such width that side slopes, if required, would not be steeper than three (3) horizontal to one (1) vertical within the limits of the dedicated right-of-way.

No action taken.

## **6. Adjourn**

The meeting was adjourned at 8:01 p.m.

**Dalworthington Gardens Planning and Zoning Commission**  
**Meeting Minutes**  
**May 22, 2023 at 6:00 p.m.**

**1. Call to Order**

Chairperson Todd Batiste called the meeting to order at 6:00 p.m. with the following present:

**Members Present:**

Todd Batiste, Chairperson  
Maurice Clark, Vice Chairperson  
Anthony Parker, Alternate

**Members Absent:**

Johanna Storm  
Paul Sweitzer  
Brian Colin  
Brad Catlett, Alternate

**Staff Present:**

Lola Hazel, City Administrator  
Gary Harsley, Building Official

**2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.**

None.

**3. Discussion and possible regarding an application from Jim Tally for a Special Exception in accordance with Zoning Ordinance Section 14.02.321(c)(7) “Screening Devices/Fence, over height or in required front yard”, to allow a 6-foot fence in the side yard.**

- i. Conduct public hearing**
- ii. Discussion and action**

Background information on this item: A fence was installed at 3306 Evie Court without a permit that exceeds height requirements outlined in the Zoning Ordinance, Section 14.02.123, which states as follows:

14.02.123 Yard requirements.

(d) Permitted obstructions in required yards and open spaces. The following shall not be considered to be obstructions when located in the required yards and open spaces specified.

(1) In all required yards:

(D) Fences, subject to subsection (2)(c) hereof.

(2) In front yards:

(C) Fences not exceeding four (4) feet in height which do not constitute a sight obstruction.

The property owner, Jim Tally, was cited for this offense and is requesting a special exception to the above requirements for fence height. The appropriate Special Exception Section is 14.02.321(c)(7) for “screening devices/fences, over height or in required yard.”

If the special exception is approved, the owner will be required to apply and pay for the proper permits for the fence. If the request is denied, the owner will be required to bring the fence up to existing ordinance standards which may require some demolition and rebuilding where appropriate, and related permits.

The pictures provided show the home orientation on Evie Court and photos of how the fence looks at various angles.

Commissioner Todd batiste opened the public hearing at 6:13 p.m.

The following persons spoke.

1. Linda Motley, 3310 Elkins Drive: Spoke in opposition of the fence.
2. Steve Loe, 2816 Park Drive: Spoke in favor of the fence.
3. Jeannine Calhoon, 3303 Evie Court: Spoke in favor of the fence.
4. Caleb Oldham, 3304 Evie Court: Spoke in favor of the fence.

The City Administrator read aloud the following comment cards.

1. Breck and Mary Henderson, 3300 Evie Court: Had no objections.
2. Jeannine Calhoon, 3303 Evie Court: In favor of fence.
3. Caleb Oldham, 3304 Evie Court: In favor of fence.
4. David Bergh, 3305 Evie Court: In favor of fence.
5. James Plog, 3302 Evie Court: Spoke in favor of fence.

With no one else desiring to speak, the public hearing was closed at 6:24 p.m.

A motion was made by Commissioner Anthony Parker and seconded by Commissioner Todd Batiste to approve an application from Jim Tally for a Special Exception in accordance with Zoning Ordinance Section 14.02.321(c)(7) "Screening Devices/Fence, over height or in required front yard", to allow a 6-foot fence in the side yard.

Motion carried by the following vote:

Ayes: Members Parker and Batiste

Nays: None

Abstained: Member Clark

**4. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding agrihood regulations.**

- i. Conduct public hearing**
- ii. Discussion and action**

Background information on this item: A sample ordinance is being provided making revisions to the existing mixed use ordinance to add agrihood regulations, which are virtually the same. The ordinance just adds the option for an agrihood planned development concept and adds "agricultural" as an allowed use. Staff highlighted the section where the ordinance already allows "substantially similar" uses to be considered in the application process. The Board discussed previously making sure the allowed use list did not limit potential applicants' creativity.

If the Board approves this ordinance, it will be taken to council at their regular June meeting for consideration.

Chairman Todd Batiste opened the public hearing at 6:47 p.m.

Cathy Stein, 2622 Clover Lane: Spoke to proposed ordinance.

With no one else desiring to speak, the public hearing was closed at 6:48 p.m.

A motion was made by Commissioner Anthony Parker and seconded by Commissioner Maurice Clark to recommend approval of an ordinance making changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding agrihood regulations.

Motion carried by the following vote:

Ayes: Members Parker and Clark

Nays: None

**5. Discussion and possible action regarding changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding garden home regulations.**

**i. Conduct public hearing**

**ii. Discussion and action**

Background information on this item: The Planning and Zoning Chairman met with the City Administrator to prepare some information to assist the Commission in crafting garden home ordinance changes. Once Planning and Zoning reviews the suggested changes, they will be sent to City Council for consideration and an ordinance would be crafted upon Council's approval.

The garden home ordinance and comprehensive plan sections for garden homes are both included in the packet. There is also a list of discussion points and red text beneath each one with either a suggested change or information to assist in preparing any changes.

Chairman Todd Batiste opened the public hearing at 6:53 p.m.

With no one desiring to speak, the public hearing was closed at 6:53 p.m.

A motion was made by Commissioner Maurice Clark and seconded by Commissioner Anthony Parker to approve the ordinance discussion points as presented including to change shingle item to 30-year architectural instead of requiring 40-year shingles.

Motion carried by the following vote:

Ayes: Members Parker and Clark

Nays: None

**6. Adjourn**

The meeting was adjourned at 7:11 p.m.

## Staff Agenda Report

**Agenda Subject:** Discussion and possible regarding a replat application from Vitex Developments, LLC for existing Block 3, Lot 10, changing to Eleanor Estates, Block 1, Lots 1-6, with approximate current addresses being 2601 California Lane and 2615 California Lane, Dalworthington Gardens.

**Background Information:** Section 10.02.004 of the City's Code of Ordinance states no land is to be subdivided in the city except by platting in compliance with Chapter 212 of the Texas Local Government Code and city ordinance, and no building permit shall be issued for construction of improvements on any property not platted.

Vitex Development is replatting property on California Lane. In accordance with Section 10.02.031, the city determined the plat application to be complete on January 24, 2023. In accordance with Section 10.02.094, the plat application was then forwarded to the city engineer for review. On May 16, 2023, the city engineer conducted his final review of the plat, determined the plat conforms with the City's subdivision ordinance, and recommended approval of the plat.

The city has notified all property owners within 200' and included information on how to provide public comments at both the planning and zoning meeting and city council meeting.

Local Government Code, Chapter 212, states plats that satisfy all applicable regulations must be approved. The proposed plat satisfies all requirements of city ordinances. As such, staff recommends approval of this plat.

**Recommended Action/Motion:** Motion to approve a replat application from Vitex Developments, LLC for existing Block 3, Lot 10, changing to Eleanor Estates, Block 1, Lots 1-6, with approximate current addresses being 2601 California Lane and 2615 California Lane, Dalworthington Gardens.

**Attachments:**

- Plat Application**
- Engineering Letter**
- Plat**
- Site Plan**
- Legal Notice**



PLAT Application

CITY OF DALWORTHINGTON GARDENS

JAN 20 2023

2600 Roosevelt  
TEL. 817-274-7368 FAX 817-265-4401  
www.cityofdmg.net

Replat  Amending Plat  Preliminary Plat  Final Plat

Applicant's Name: VITEX DEVELOPMENT LLC

Address: PO Box 150884, ARLINGTON, TX 76015

Applicant Contact Number: 817-980-4909

Applicant Email: vitexdevelopment@gmail.com

Surveyor: KEETON SURVEYING COMPANY

Address: 2037 DALWORTH ST. GRAND PRAIRIE, TX 75050

I have purchased or have access to the City of Dalworthington Gardens Subdivision Ordinance which specifies requirements for plat submissions.

Yes  No

The attached submission complies with all applicable requirements of the City Subdivision Ordinance.

Yes  No

Signature U, Julie

Date Jan 18, 2023

For Office Use Only

Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

P & Z Scheduled \_\_\_\_\_ Public Hearing Published: \_\_\_\_\_

Council Scheduled: \_\_\_\_\_ Public Hearing Published: \_\_\_\_\_

Pro-Rata Paid: \$ \_\_\_\_\_ Date: \_\_\_\_\_

# COMMERCIAL RECORDER PROOF

EMAIL ADDRESS: [recorder@flash.net](mailto:recorder@flash.net)

Deadline for submitting legal notices is 11:00 (am) the business day before

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

PUBLIC NOTICE

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_
- 4 \_\_\_\_\_
- 5 \_\_\_\_\_
- 6 \_\_\_\_\_
- 7 \_\_\_\_\_
- 8 \_\_\_\_\_
- 9 \_\_\_\_\_
- 10 \_\_\_\_\_
- 11 \_\_\_\_\_
- 12 \_\_\_\_\_
- 13 \_\_\_\_\_
- 14 \_\_\_\_\_
- 15 \_\_\_\_\_
- 16 \_\_\_\_\_
- 17 \_\_\_\_\_
- 18 \_\_\_\_\_
- 19 \_\_\_\_\_
- 20 \_\_\_\_\_
- 21 \_\_\_\_\_
- 22 \_\_\_\_\_
- 23 \_\_\_\_\_
- 24 \_\_\_\_\_
- 25 \_\_\_\_\_
- 26 \_\_\_\_\_
- 27 \_\_\_\_\_
- 28 \_\_\_\_\_
- 29 \_\_\_\_\_
- 30 \_\_\_\_\_
- 31 \_\_\_\_\_
- 32 \_\_\_\_\_
- 33 \_\_\_\_\_
- 34 \_\_\_\_\_
- 35 \_\_\_\_\_
- 36 \_\_\_\_\_
- 37 \_\_\_\_\_
- 38 \_\_\_\_\_
- 39 \_\_\_\_\_
- 40 \_\_\_\_\_
- 41 \_\_\_\_\_
- 42 \_\_\_\_\_
- 43 \_\_\_\_\_
- 44 \_\_\_\_\_
- 45 \_\_\_\_\_
- 46 \_\_\_\_\_
- 47 \_\_\_\_\_
- 48 \_\_\_\_\_
- 49 \_\_\_\_\_
- 50 \_\_\_\_\_

**LEGAL NOTICE**

Notice is hereby given that the Dalworthington Gardens Planning and Zoning Commission will hold a public hearing on June 12, 2023 at 6:00 p.m., and the Dalworthington Gardens City Council will hold a public hearing on June 15, 2023 at 7:00 p.m., both of which will be held in the Council Chambers, 2600 Roosevelt Drive, Dalworthington Gardens, Texas to consider the following: A replat application from Vitex Developments, LLC for existing Block 3, Lot 10, changing to Eleanor Estates, Block 1, Lots 1-6, with approximate current addresses being 2601 California Lane and 2615 California Lane, Dalworthington Gardens.

5-26

Lola Hazel  
City Secretary  
City of Dalworthington Gardens  
2600 Roosevelt Drive  
Dalworthington Gardens, Texas

May 16, 2023

RE: Lots 1-6, Block 1, Eleanor Estates Replat Final Review

Lola,

We have reviewed the above referenced Replat according to Section 10 of the City of Dalworthington Gardens Subdivision Ordinance, and have the following comments:

1. See attached markups. **COMPLETED SATISFACTORILY**
2. Remove setback lines. Please note, Lot 1 and Lot 6 will have a 35' side street setback, not 25' as shown. A request for a variance would need to be applied for should a 25' side street setback be desired. **COMPLETED SATISFACTORILY**

We recommend that this plat be considered for approval.

Thanks,



Director of Civil Surveying



May 4, 2023

Lola Hazel  
City Secretary

City of Dalworthington Gardens

2600 Roosevelt Drive

Dalworthington Gardens, Texas

RE: Eleanor Estates Engineering and Plat review

Lola,  
We have completed our review of the Eleanor Estates subdivision. All comments have been addressed and recommend that this project be allowed to proceed with construction.

Find below a summary of the review comments.

## **First Review**

### **Sheet 1 – Cover sheet**

This label conflicts with the plat. The attached plat exhibit is a preliminary plat.

**Response: In the plat comments, we were asked to change the name to RePlat and hence we revised this sheet name to match the plat naming and included "Preliminary" next to the replat in the revised cover sheet.**

(Completed)

### **Sheet 3 – Existing DA**

As per ordinance:

Rainfall intensity-duration-frequency curves for this area have been developed using the most current data available. These curves shall be from Technical Paper-40 or Hydro-35 and used in the design of all drainage facilities.

Please cite exact reference used since Tarrant\_county.IDF is somewhat vague.

**Response: iSWM was used for idf values but we have updated the comps to use the idf values of Technical Paper – 40** (Completed)

### **Sheet 4 – Proposed DA Map**

Please add the pond volume at 100-yr WSEL

**Response: Pond volume is provided in the Hydrograph report table** (Completed)

It is unclear what the discharge rate of the weir is. Was this provided?

**Response: This discharge value is provided in the Hydrograph summary report table.** (Completed)

The land use is Single Family. A c-factor of 0.41 is to be applied only to permanent open space or parks. A C-factor of 0.58 should be used for the entire subdivision. If a composite C-factor is to be used then 0.9 should be used for impervious and 0.41 for open space. Not 0.58 for impervious.

Please be sure to show proposed subdivision with all proposed impervious areas.

Please review the drainage ordinance. The ordinance requires a Ca factor when using the Rational Method which was not used in the current calculations.

**Response: We have updated the runoff coefficient values as suggested and included a Ca value as applicable and showed it in the revised set of plans.** (Completed)

Please analyze the timing of the upstream discharge as it relates to the outfall of the pond. The current hydrograph includes the site only but not the anticipated runoff in the stream.

**Response: We have computed the Tc of this outfall channel and estimated it to be about 50 minutes. This is about 3 times bigger than the developed drainage area TC and we believe that with these two different times of concentrations, the flows will not peak at the same time. Tc comps and DA map for this outfall channel included in the revised plan set.** (Completed)

## Sheet 7 – Grading and Erosion Control Plan

Please add allowable release of pond.

**Response: Flume/Wier discharge added here in the updated sheet** (Completed)

Please provide cross section of swale. Add Qcap and 100-year WSEL

**Response: Updated sheet provides cross section B for this swale and includes 100yr WS and flow capacity** (Completed)

Please show location of silt fence

**Response: Silt fence added as requested.** (Completed)

What considerations have been taken in the event that any of the downstream owners blocks the swale leading to the pond? This can lead to serious adverse drainage in the future.

**Response: We added a note on the plat that home owner can not block this easement.** (Completed)

Please add reference at least two reference benchmarks.

Establish a permanent benchmark on the site.

**Response: This information added as requested** (Completed)

## Sheet 8 – Proposed Site Plan

Please show sidewalk on plans when applicable. (typ)

**Response: (None provided)** (Not Completed: Completed with second submittal)

## Sheet 9 – Street Plan and Profile

Please specify minimum cross slope

**Response: 2% minimum cross slope added** (Completed)

Please specify HMAC type and/or composition of asphalt section.

**Response: HMAC type specified as requested.** (Not Completed: Incorrect section)

As per city of DWG ordinance:

(e)

Vertical alignment:

(1)

No streets shall be designed or constructed to a grade of less than one-half of one percent (0.5).

**Response: Grades updated to meet minimum 0.5% slope** (Completed)

## Sheet 10 – Sanitary Sewer Plan

Would it be better to move services to the south side for lots 5 and 2 since the line is deeper at that end?

**Response: Agree. We have moved the services of these two lots as suggested.** (Completed)

Please move the sewer line outside of pavement

**Response: (None provided)** (Not Completed: Completed with second submittal)

## Sheet 11 – Sanitary Sewer Profile

Please show all water line crossings

**Response: water crossing added to the updated sheet.** (Completed)

Please specify class and type of pipe.

**Response: class and type specified as requested.** (Completed)

Please verify shallow depth MH with PW department.

**Response: we have added a detail for shallow manhole. We will also contact PW about this manhole** (Completed)

Were the invert depths used in this design field verified? If not, please coordinate field verification with the PW department.

**Response: We did received this information from Public works.** (Completed)

## Sheet 12 – Water Plan

Please specify class and type of pipe.

**Response: class and type specified as requested.** (Completed)

The plans mention a 6"x6" tee. This should be an 8" x 6" tee since this line is being reduced to a 6" line.

**Response: Label updated to match plans** (Completed)

## Sheet 14 – Details Sheet 2

Please use residential service line detail. The city requires a 1" service line.

**Response: Detail updated as requested.** (Completed)

## Second Review

### Sheet 1 – Cover Sheet

Update contact information.

**Response: Phone number updated** (Completed)

### Sheet 5 – Drainage Comps

What is the amount of freeboard in the pond? Will there be at least 1 foot of freeboard?

**Response: (Not provided)** (Completed)

Please provide rip-rap for any exit velocities over 6 fps.

**Response: Riprap added as requested** (Completed)

Please label cross sections clearly. Are these A and B as stated in the grading and erosion control plan.

**Response: This is section BB on the grading plan. Plan updated to reflect this on this sheet** (Completed)

### Sheet 6 – Driveway Culvert Drainage Area and Comps

It is unclear what's being conveyed. Is this the culvert capacity or the discharge within the culvert?

**Response: Total discharge column represents the Q at the culvert and Culvert Discharge column shows that all of the Q is conveyed through the culvert.** (Completed)

Where is the runoff? What parameters were used to compute the runoff?

**Response: Runoff table added as requested.** (Completed)

Per the comment response from the first submittal this appears to be the TC for the channel. However this is not immediately clear by looking at this sheet and the computations. Please present the data in a way that this is readily apparent.

**Response: A note added on this sheet about upstream watershed Tc and peak flow timing.** (Completed)

What is the reasoning behind these choices? A brief narrative can be provided.

**Response: Column B and C not used here.** (Completed)

What do these letters correspond to?

**Response: Column B and C not used for Sheet and Channel Flow.** (Completed)

### Sheet 8 – Grading and Erosion Control Plan

Does this development have an HOA? If not who will be responsible for the maintenance of the pond and outfall structure?

**Response: No HOA. Each property owner is responsible for maintenance of the drainage easement and the pond. Plat updated to specify this.** (Completed)

### Sheet 9 – Proposed Site Plan

This comment may have been provided in the summary review during the last round.

Please show sidewalk on plans when applicable. (typ)

**Response: Sidewalk added to plans and a note also added that home owner/home builder will be installing the sidewalk in front of their property in the street R.O.W** (Completed)

Please show sidewalk

Sidewalk added to plans and a note also added that home owner/home builder will be installing the sidewalk in front of their property in the street R.O.W (Completed)

### Sheet 10 – Street Plan and Profile

Must be 4.5" binder course and 1.5" surface course.

Response: added to the updated sheets (Completed)

Call out curb type.

Response: Rolllover curb called out (Completed)

Please show sidewalk

Response: Sidewalk added to plans and a note also added that home owner/home builder will be installing the sidewalk in front of their property in the street R.O.W (Completed)

### Sheet 11 – Sanitary Sewer Plan

The City of Dalworthington gardens requested that the sewer line be moved outside of the pavement. They were likely submitted as additional notes.

Please move sewer line from under pavement.

Response: Sewer line moved outside the paving as requested. (Completed)

## Third Review

No additional Comments

If there are any questions don't hesitate to contact me.

Sincerely,

**Topographic, Co.**



Kylon M. Wilson, P.E.  
Sr. Project Manager

# ELEANOR ESTATES

4.36 ACRES, DALWORTHINGTON GARDENS

TARRANT COUNTY, TEXAS

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DALWORTHINGTON GARDENS STANDARDS AND SPECIFICATIONS.
2. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A CONSTRUCTION SEQUENCES SCHEDULE. THE CONSTRUCTION SCHEDULE SHALL BE SUCH THAT THERE IS MINIMUM INTERFERENCE WITH TRAFFIC ALONG OR ADJACENT TO THE PROJECT. THE CONTRACTOR SHALL PREPARE A BARRICADE AND SIGNAGE PLAN TO BE REVIEWED AND APPROVED BY THE CITY OF DALWORTHINGTON GARDENS.
3. UTILITIES SHOWN ON THE PLANS WERE TAKEN FROM FIELD SURVEYS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE COMPLETENESS AND THE ACCURACY OF THIS DATA IS NOT GUARANTEED. CONTACT TEXAS 811 BEFORE BEGINNING CONSTRUCTION.  
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
4. WORK MAY NOT BE BACK FILLED OR COVERED UNTIL IT HAS BEEN INSPECTED.
5. ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
6. FINISHED SLOPES OR PUBLIC RIGHTS-OF-WAY AND EASEMENTS SHALL NOT BE STEEPER THAN 3:1. ALL SLOPES STEEPER THAN 6:1 SHALL BE HYDRO-MULCHED AND MAINTAINED BY THE CONTRACTOR UNTIL GRASS COVERS ALL PARTS OF THE SLOPE.
7. CONTRACTOR TO REMOVE SALVAGE AND REPLACE ALL STREET AND TRAFFIC CONTROL SIGNS THAT MAY BE DAMAGED BY THE CONSTRUCTION OF THE PROJECT.
8. ALL TRENCH AND EXCAVATION SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION/SEDIMENT CONTROL. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER IF THERE ARE ANY SIGNS THAT SEDIMENT HAS LEFT THE PROPOSED WORK AREA. THE EROSION CONTROL SHOWN ON THE PLANS IS CONSIDERED THE MINIMUM WHICH MAY PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL. ADDITIONAL CONTROLS MAY NEED TO BE ADDED TO ADDRESS ANY PARTICULAR EROSION AND SEDIMENT CONTROL ISSUES RELATED TO THE CONSTRUCTION. ADDITIONAL CONTROLS IF NOT RELATED TO CONTRACTOR SCHEDULING SHALL BE CONSIDERED AS CHANGE ORDERS TO THE PROJECT AND MAY BE REQUIRED BY THE OWNER TO FACILITATE EFFICIENT STABILIZATION OF THE CONSTRUCTION SITE.
10. THE CONTRACTOR AGREES TO FULLY INDEMNIFY AND SAVE HOLD AND HARMLESS THE CITY AND OWNERS OF THE UNITS AND LOTS ABUTTING THE UNITS IN THIS CONTRACT FROM ALL COSTS OR DAMAGES ARISING OUT OF ANY REAL OR ASSERTED CLAIMS OR CAUSE OR ACTIONS AGAINST IT OF WHATSOEVER KIND OF CHARACTER AND IN ADDITION FROM ANY AND ALL COSTS OR DAMAGES ARISING OUT OF ANY WRONGS, INJURY, DEMANDS, OR SUITS FOR DAMAGES EITHER REAL OR ASSERTED, CLAIMED AGAINST IT THAT IT MAY BE OCCASIONED BY ANY ACT, OMISSION, NEGLIGENCE, OR MISCONDUCT OF SAID CONTRACTOR, HIS AGENTS, SERVANTS, AND EMPLOYEES. A HOLD HARMLESS AGREEMENT SHOULD BE PROVIDED TO THE CITY FOR ANY GRADING OR DRAINAGE IMPROVEMENTS ON PRIVATE OR OFFSITE AREAS.
11. SPECIFICATIONS SHALL BE THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION- OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS", LATEST ADDITION AS MODIFIED IN SPECIAL PROVISION: NO SPECIAL PROVISIONS HAVE BEEN SUBMITTED OR REVIEWED.
12. OWNER IS RESPONSIBLE FOR ALL LOCAL, STATE, AND FEDERAL CODE COMPLIANCE REGARDLESS OF ANY DETAILS PROVIDED OR NOT ON THE PLANS.
13. ANY DEVIATIONS FROM PLANS HAVE TO BE REVIEWED BY THE ENGINEER OF RECORD AND APPROVED BY THE APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO CONSTRUCTION.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND NOT OBSTRUCTING EXISTING DRAINAGE DURING THE CONSTRUCTION.
15. CONTRACTOR TO USE PROPER CONSTRUCTION MEANS AND METHODS AND CONSULT THE GEOTECH ENGINEER FOR ANY GROUNDWATER RELATED ISSUES DURING THE CONSTRUCTION.
16. PERMANENT STREET SIGNAGE IS NOT IN THE SCOPE OF THIS PLANS. OWNER TO COORDINATE WITH THE CITY ON THE SIGNAGE REQUIREMENTS.



VICINITY MAP (N.T.S.)

**ENGINEER / DEVELOPER:**

NAVEEN KHAMMAMPATI, P.E., CFM  
 TURNKEY TRACT  
 2770 MAIN ST # 171  
 FRISCO, TX 75033  
 F-22283  
 NKCIVILENGINEER4@GMAIL.COM  
 214-483-1599

**SURVEYOR:**

KEETON SURVEYING COMPANY  
 H.S. KEETON M.S. KEETON  
 2037 DALWORTH, GRAND PRAIRIE, TEXAS 75050  
 REGISTERED PROFESSIONAL LAND SURVEYORS  
 PHONE (972) 641-0843 TBPELS FIRM NO. 10090500  
 E-MAIL: KSC4019@SBCGLOBAL.NET

**OWNER:**

VITEX DEVELOPMENT, LLC.  
 PO BOX 150884  
 ARLINGTON, TX. 76015  
 VITEXDEVELOPMENT@GMAIL.COM  
 817-980-4909

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW ONLY UNDER THE AUTHORITY OF NAVEEN KHAMMAMPATI, P.E., LICENSE NUMBER 123697, ON 04/14/2023. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSE.

**CONTENTS**

1. COVER SHEET
2. REPLAT (PRELIMINARY)
3. EXISTING DRAINAGE AREA MAP
4. PROPOSED DRAINAGE AREA MAP
5. DRAINAGE COMPS
6. DRIVEWAY CULVERT DRAINAGE AREA AND COMPS
7. DEMOLITION PLAN
8. GRADING & EROSION CONTROL PLAN
9. PROPOSED SITE PLAN
10. STREET PLAN & PROFILE
11. SANITARY SEWER PLAN
12. SANITARY SEWER PROFILE
13. WATER PLAN
14. DETAIL SHEET 1
15. DETAIL SHEET 2
16. DETAIL SHEET 3

**COVER SHEET**



**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Naveen*

NAVEEN KHAMMAMPATI 123697  
 NAME P.E. NO.  
 DATE 04/14/2023  
 TBPE FIRM #F22283

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

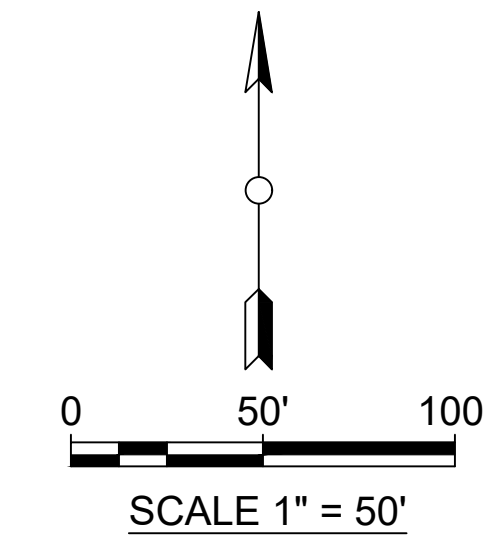
Firm Name and Address  
 TURNKEY TRACT  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
 ELEANOR ESTATES  
 DALWORTHINGTON GARDENS,  
 TEXAS

Project	Sheet
Date 04 / 14 / 2023	01
Scale	16







COMPOSITE CALCULATIONS									
Drainage Area	Area	Land Description	Area Ac	Runoff Co-eff	Composite (C)	Ca (25yrs)	Ca (100yrs)	C * Ca (25yrs)	C * Ca (100yrs)
	(Acres)		(Acres)	(C)		(C)	(100yrs)	(100yrs)	(100yrs)
EXISTING DA	6.09	Roof / Paved	0.38	0.90	0.44	1.10	1.25	0.48	0.55
		Green Space	5.71	0.41					

EXISTING CONDITION			
DRAINAGE AREA No.	Area (Acres)	C	Tc (Minutes)
EXISTING DA	6.09	0.44	15

HYDROGRAPH SUMMARY REPORT - 25 YRS 1

Hydrograph Summary Report Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	22.43	1	15	20,190	---	---	---	Existing Runoff
2	Rational	28.98	1	15	26,079	---	---	---	Developed Runoff
3	Reservoir	22.42	1	18	26,079	2	586.62	6,550	Pond Outflow

HYDROGRAPH SUMMARY REPORT - 100 YRS 1

Hydrograph Summary Report Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	34.50	1	15	31,046	---	---	---	Existing Runoff
2	Rational	43.90	1	15	39,513	---	---	---	Developed Runoff
3	Reservoir	33.07	1	19	39,513	2	586.94	10,309	Pond Outflow

Hydrograph Report 2

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

**Hyd. No. 1**  
Existing Runoff

Hydrograph type	= Rational	Peak discharge	= 22.43 cfs
Storm frequency	= 25 yrs	Time to peak	= 15 min
Time interval	= 1 min	Hyd. volume	= 20,190 cuft
Drainage area	= 6.090 ac	Runoff coeff.	= 0.48
Intensity	= 7.674 in/hr	Tc by User	= 15.00 min
IDF Curve	= TP40.IDF	Asc/Rec limb fact	= 1/1

Hydrograph Report 2

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

**Hyd. No. 1**  
Existing Runoff

Hydrograph type	= Rational	Peak discharge	= 34.50 cfs
Storm frequency	= 100 yrs	Time to peak	= 15 min
Time interval	= 1 min	Hyd. volume	= 31,046 cuft
Drainage area	= 6.090 ac	Runoff coeff.	= 0.55
Intensity	= 10.299 in/hr	Tc by User	= 15.00 min
IDF Curve	= TP40.IDF	Asc/Rec limb fact	= 1/1

LEGEND

---589--- SURVEY CONTOURS

EXISTING DA MAP



PRELIMINARY FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Naves*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

NOT FOR CONSTRUCTION

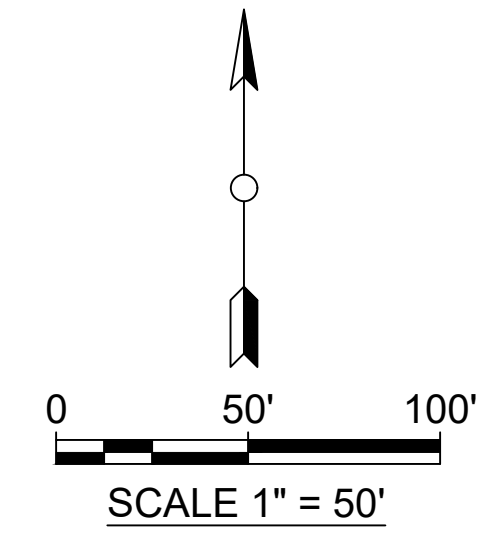
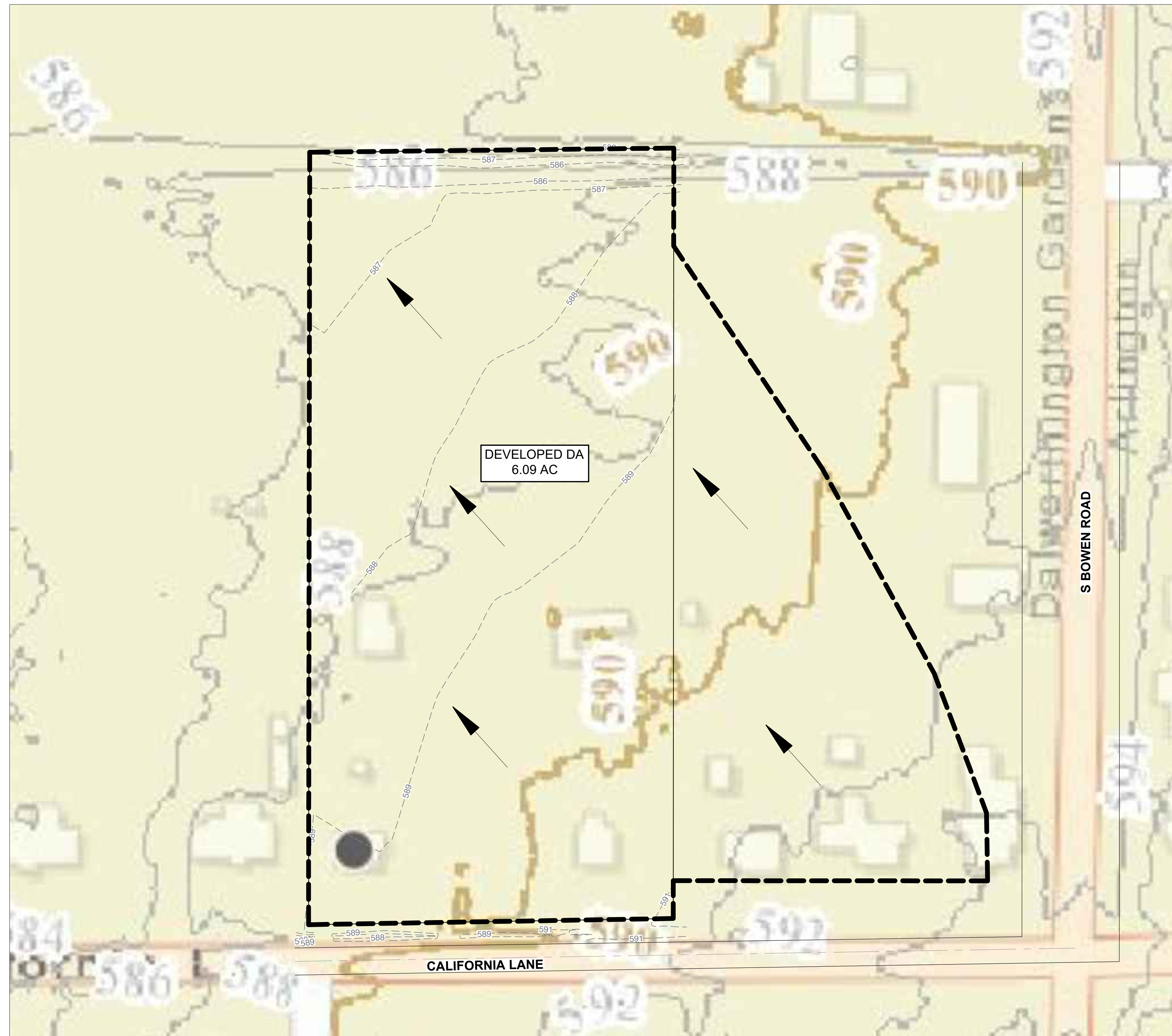
No.	Revision/Issue	Date

Firm Name and Address  
TURNKEY TRACT  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
ELEANOR ESTATES  
DALWORTHINGTON GARDENS,  
TEXAS

<small>Project</small>	<small>Sheet</small>
<small>Date</small> 04 / 14 / 2023	03
<small>Scale</small>	16





COMPOSITE CALCULATIONS									
Drainage Area	Area (Acres)	Land Description	Area Ac	Runoff Co-eff	Composite	Ca (25yrs)	Ca (100yrs)	C * Ca (25yrs)	C * Ca (100yrs)
			(Acres)	(C)	(C)				
DEVELOPED DA	6.09	Roof / Paved	0.38	0.90	0.56	1.10	1.25	0.62	0.70
		Green Space	1.35	0.41					
		Onsite	4.36	0.58					

PROPOSED CONDITION			
DRAINAGE	Area	C	Tc
AREA No.	(Acres)		(Minutes)
DEVELOPED DA	6.09	0.56	15

HYDROGRAPH SUMMARY REPORT - 25 YRS

Hydrograph Summary Report 1  
Hydrflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	22.43	1	15	20,190	-----	-----	-----	Existing Runoff
2	Rational	28.98	1	15	26,079	-----	-----	-----	Developed Runoff
3	Reservoir	22.42	1	18	26,079	2	586.62	6,550	Pond Outflow

HYDROGRAPH SUMMARY REPORT - 100 YRS

Hydrograph Summary Report 1  
Hydrflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	34.50	1	15	31,046	-----	-----	-----	Existing Runoff
2	Rational	43.90	1	15	39,513	-----	-----	-----	Developed Runoff
3	Reservoir	33.07	1	19	39,513	2	586.94	10,309	Pond Outflow

Hydrograph Report 3

Hydrflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

**Hyd. No. 2**  
 Developed Runoff

Hydrograph type	= Rational	Peak discharge	= 28.98 cfs
Storm frequency	= 25 yrs	Time to peak	= 15 min
Time interval	= 1 min	Hyd. volume	= 26,079 cuft
Drainage area	= 6.090 ac	Runoff coeff.	= 0.62
Intensity	= 7.674 in/hr	Tc by User	= 15.00 min
IDF Curve	= TP40.IDF	Asc/Rec limb fact	= 1/1

Hydrograph Report 3

Hydrflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

**Hyd. No. 2**  
 Developed Runoff

Hydrograph type	= Rational	Peak discharge	= 43.90 cfs
Storm frequency	= 100 yrs	Time to peak	= 15 min
Time interval	= 1 min	Hyd. volume	= 39,513 cuft
Drainage area	= 6.090 ac	Runoff coeff.	= 0.7
Intensity	= 10.299 in/hr	Tc by User	= 15.00 min
IDF Curve	= TP40.IDF	Asc/Rec limb fact	= 1/1

PROPOSED DA MAP



PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAVEEN KHAMMAMPATI 123697  
 NAME P.E. NO.  
 DATE 04/14/2023  
 TBPE FIRM #F22283

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address  
 TURNKEY TRACT  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
 ELEANOR ESTATES  
 DALWORTHINGTON GARDENS,  
 TEXAS

Project	Sheet
Date 04 / 14 / 2023	04
Scale	16

POND OUTFLOW HYDROGRAPH REPORT - 25 YRS

Hydrograph Report

4

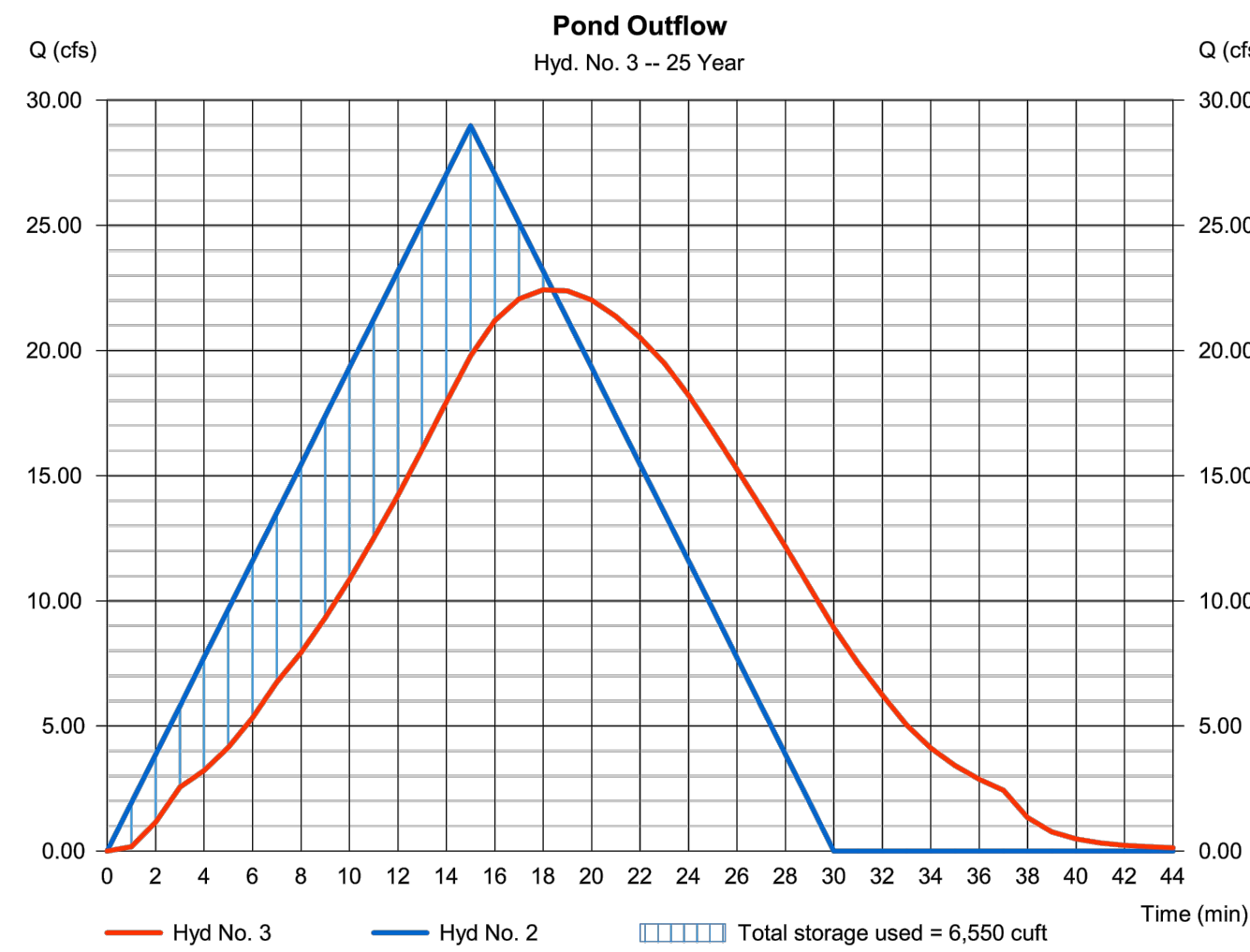
Hydraflow Hydrographs Extension for Autodesk® AutoCAD® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

Hyd. No. 3

Pond Outflow

Hydrograph type	= Reservoir	Peak discharge	= 22.42 cfs
Storm frequency	= 25 yrs	Time to peak	= 18 min
Time interval	= 1 min	Hyd. volume	= 26,079 cuft
Inflow hyd. No.	= 2 - Developed Runoff	Max. Elevation	= 586.62 ft
Reservoir name	= Pond	Max. Storage	= 6,550 cuft

Storage Indication method used.



POND REPORT - 25 YRS

Pond Report

5

Hydraflow Hydrographs Extension for Autodesk® AutoCAD® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

Pond No. 1 - Pond

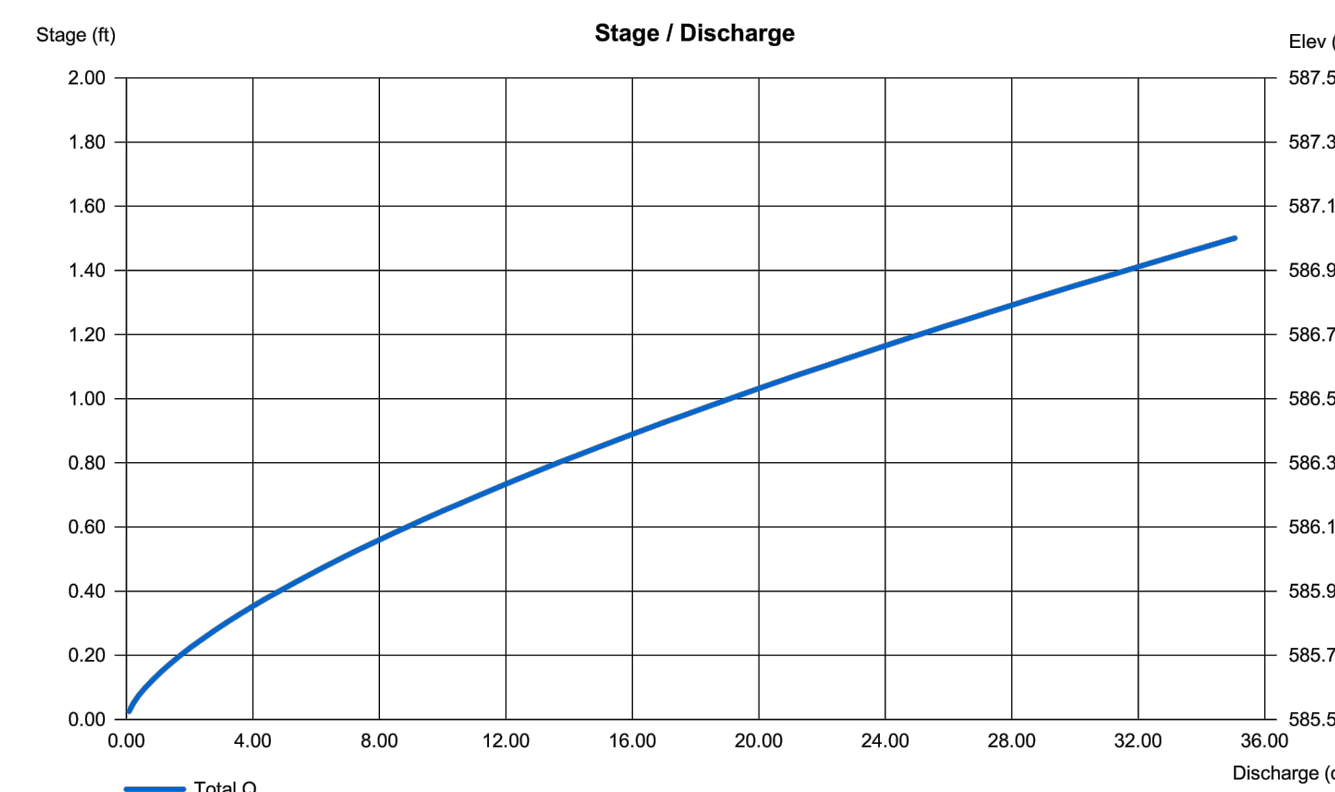
Pond Data

Contours - User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 585.50 ft

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	585.50	00	0	0
0.25	586.75	3,642	303	303
0.50	586.00	7,283	1,339	1,643
0.75	586.25	7,693	1,872	3,515
1.00	586.50	8,102	1,974	5,489
1.25	586.75	10,671	2,339	7,828
1.50	587.00	15,224	3,220	11,047

Culvert / Orifice Structures				Weir Structures					
[A]	[B]	[C]	[PrfRsr]	[A]	[B]	[C]	[D]		
Rise (ft)	= 0.00	0.00	0.00	0.00	Crest Len (ft)	= 5.73	0.00	0.00	0.00
Span (ft)	= 0.00	0.00	0.00	0.00	Crest El. (ft)	= 585.50	0.00	0.00	0.00
No. Barrels	= 0	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert EL (ft)	= 0.00	0.00	0.00	0.00	Weir Type	= Rect	---	---	---
Length (ft)	= 0.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 0.00	0.00	0.00	n/a	Exfil. (in/hr)	= 0.000	(by Wet area)		
N-Value	= .013	.013	.013	n/a	TW Elev. (ft)	= 0.00			
Orifice Coeff.	= 0.60	0.60	0.60	0.60					
Multi-Stage	= n/a	No	No	No					

Note: Culvert/Orifice outflows are analyzed under inlet (ci) and outlet (co) control. Weir risers checked for orifice conditions (ci) and submergence (si).



POND OUTFLOW HYDROGRAPH REPORT - 100 YRS

Hydrograph Report

4

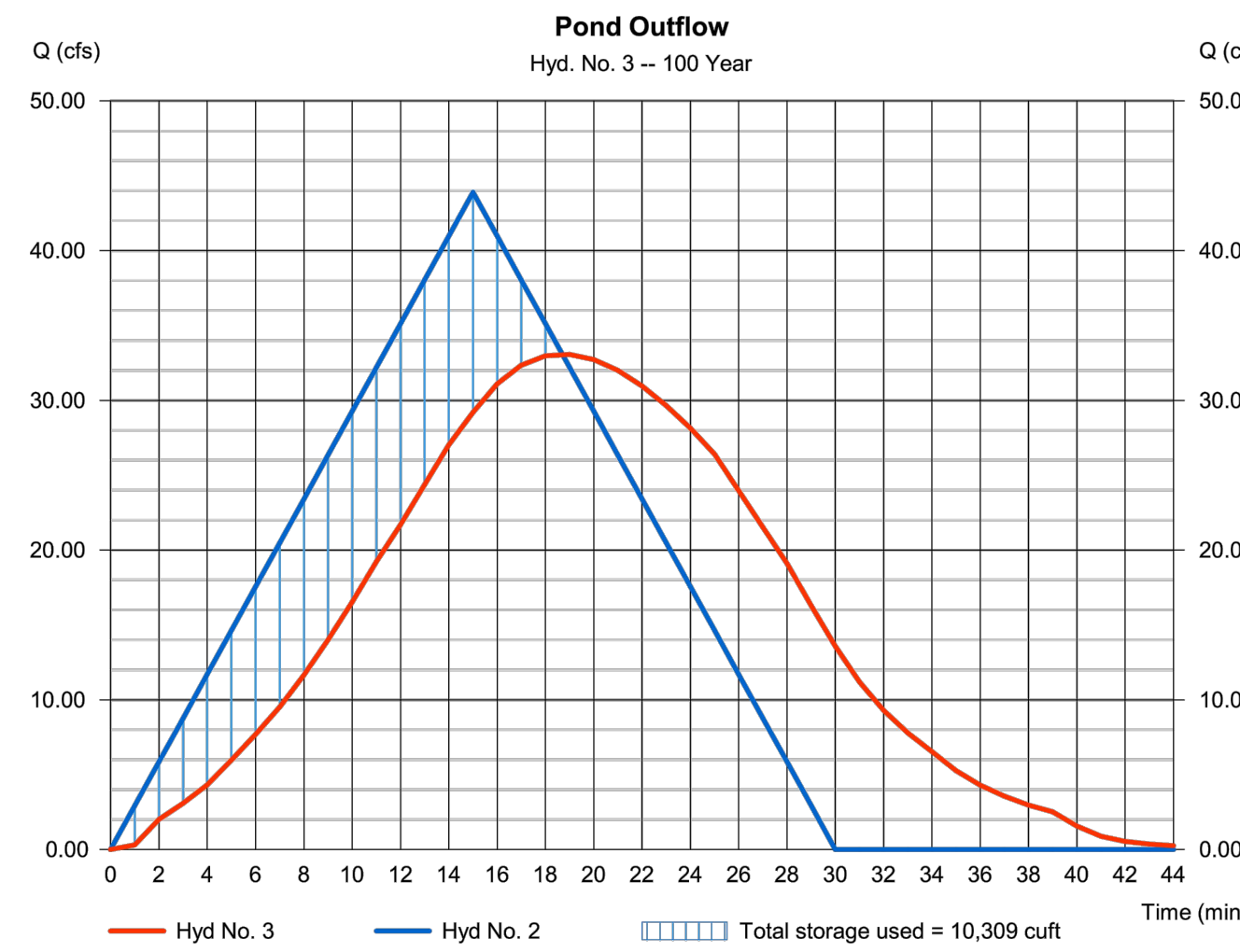
Hydraflow Hydrographs Extension for Autodesk® AutoCAD® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

Hyd. No. 3

Pond Outflow

Hydrograph type	= Reservoir	Peak discharge	= 33.07 cfs
Storm frequency	= 100 yrs	Time to peak	= 19 min
Time interval	= 1 min	Hyd. volume	= 39,513 cuft
Inflow hyd. No.	= 2 - Developed Runoff	Max. Elevation	= 586.94 ft
Reservoir name	= Pond	Max. Storage	= 10,309 cuft

Storage Indication method used.



POND REPORT - 100 YRS

Pond Report

5

Hydraflow Hydrographs Extension for Autodesk® AutoCAD® Civil 3D® 2019 by Autodesk, Inc. v12 Saturday, 04 / 8 / 2023

Pond No. 1 - Pond

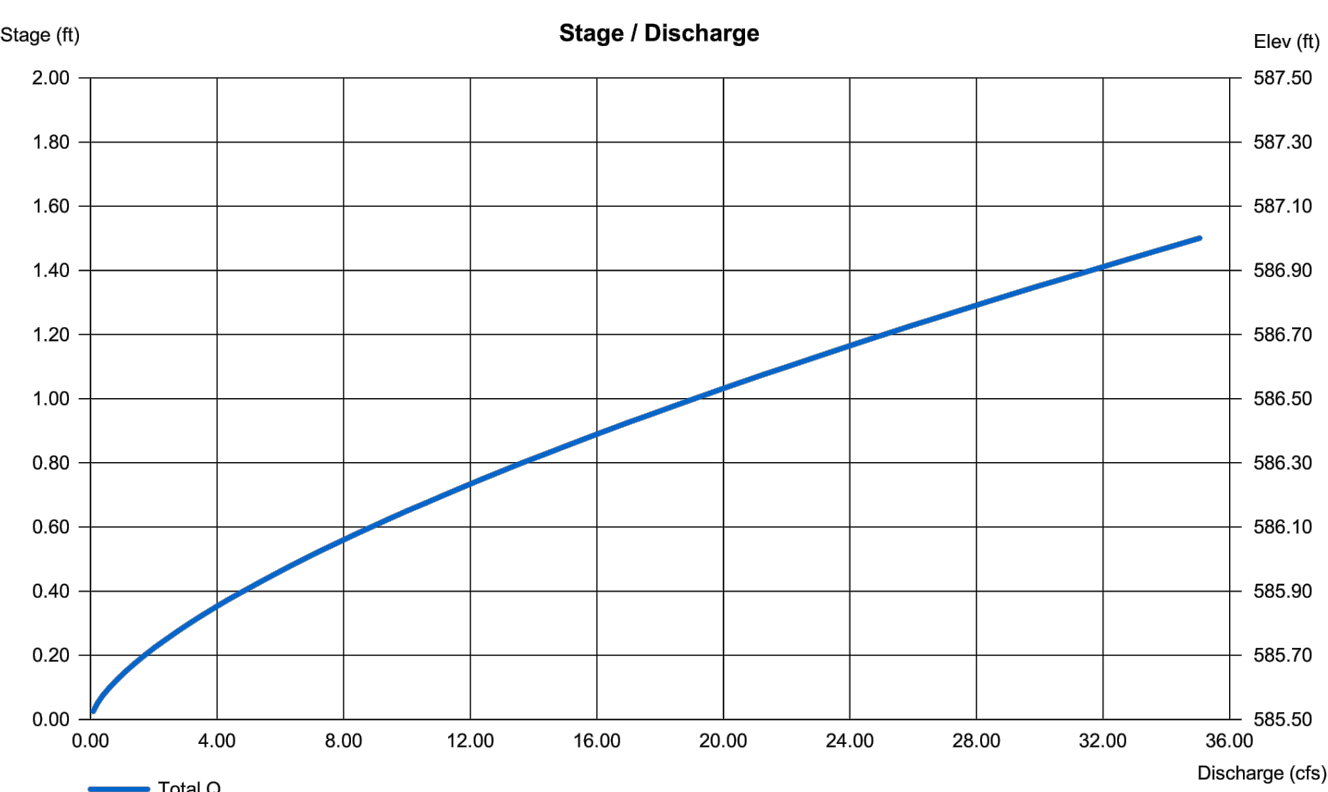
Pond Data

Contours - User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 585.50 ft

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	585.50	00	0	0
0.25	586.75	3,643	304	304
0.50	586.00	7,283	1,340	1,643
0.75	586.25	7,693	1,872	3,515
1.00	586.50	8,102	1,974	5,489
1.25	586.75	10,671	2,339	7,828
1.50	587.00	15,224	3,220	11,047

Culvert / Orifice Structures				Weir Structures					
[A]	[B]	[C]	[PrfRsr]	[A]	[B]	[C]	[D]		
Rise (ft)	= 0.00	0.00	0.00	0.00	Crest Len (ft)	= 5.73	0.00	0.00	0.00
Span (ft)	= 0.00	0.00	0.00	0.00	Crest El. (ft)	= 585.50	0.00	0.00	0.00
No. Barrels	= 0	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert EL (ft)	= 0.00	0.00	0.00	0.00	Weir Type	= Rect	---	---	---
Length (ft)	= 0.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 0.00	0.00	0.00	n/a	Exfil. (in/hr)	= 0.000	(by Wet area)		
N-Value	= .013	.013	.013	n/a	TW Elev. (ft)	= 0.00			
Orifice Coeff.	= 0.60	0.60	0.60	0.60					
Multi-Stage	= n/a	No	No	No					

Note: Culvert/Orifice outflows are analyzed under inlet (ci) and outlet (co) control. Weir risers checked for orifice conditions (ci) and submergence (si).



SWALE Qcap REPORT (REFER TO SECTION BB ON SHEET 8)

Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Wednesday, Apr 12 2023

SWALE Qcap

Triangular		Highlighted	
Side Slopes (z:1)	= 5.00, 5.00	Depth (ft)	= 1.00
Total Depth (ft)	= 1.00	Q (cfs)	= 27.39
Invert Elev (ft)	= 587.00	Area (sqft)	= 5.00
Slope (%)	= 0.90	Velocity (ft/s)	= 5.48
N-Value	= 0.016	Wetted Perim (ft)	= 10.20
Calculations		Crit Depth, Yc (ft)	= 1.00
Compute by:	Known Depth	Top Width (ft)	= 10.00
Known Depth (ft)	= 1.00	EGL (ft)	= 1.47

SWALE 100YR WATER SURFACE ELEVATION (REFER TO SECTION BB ON SHEET 8)

Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Wednesday, Apr 12 2023

SWALE 100 YR WATER SURFACE ELEVATION

Triangular		Highlighted	
Side Slopes (z:1)	= 5.00, 5.00	Depth (ft)	= 0.70
Total Depth (ft)	= 1.00	Q (cfs)	= 10.35
Invert Elev (ft)	= 587.00	Area (sqft)	= 2.45
Slope (%)	= 0.90	Velocity (ft/s)	= 4.22
N-Value	= 0.016	Wetted Perim (ft)	= 7.14
Calculations		Crit Depth, Yc (ft)	= 0.77
Compute by:	Known Q	Top Width (ft)	= 7.00
Known Q (cfs)	= 10.35	EGL (ft)	= 0.98

DRAINAGE COMPS



PRELIMINARY FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address  
TURNKEY TRACT  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
ELEANOR ESTATES  
DALWORTHINGTON GARDENS,  
TEXAS

Project	Sheet
Date 04 / 14 / 2023	05
Scale	16

# HY-8 Analysis Results

Culvert Summary Table – DRIVEWAY CULVERT

Discharge Names	Total Discharge (cfs)	Culvert Discharge (cfs)	Headwater Elevation (ft)	Inlet Control Depth (ft)	Outlet Control Depth (ft)	Flow Type	Normal Depth (ft)	Critical Depth (ft)	Outlet Depth (ft)	Tailwater Depth (ft)	Outlet Velocity (ft/s)	Tailwater Velocity (ft/s)
25 year	1.62	1.62	587.85	0.66	0.73	2-M2c	0.52	0.48	0.48	0.17	3.34	2.57
100 year	2.11	2.11	587.96	0.76	0.84	2-M2c	0.60	0.55	0.55	0.20	3.61	2.80

**Site Data – Driveway Culvert**

Site Data Option: Culvert Invert Data  
 Inlet Station: 0.00 ft  
 Inlet Elevation: 587.12 ft  
 Outlet Station: 70.00 ft  
 Outlet Elevation: 586.91 ft  
 Number of Barrels: 1

**Tailwater Channel Data – Driveway Culvert**

Tailwater Channel Option: Trapezoidal Channel  
 Bottom Width: 3.00 ft  
 Side Slope (H:V): 4.00 (:1)  
 Channel Slope: 0.0250  
 Channel Manning's n: 0.0250  
 Channel Invert Elevation: 587.12 ft

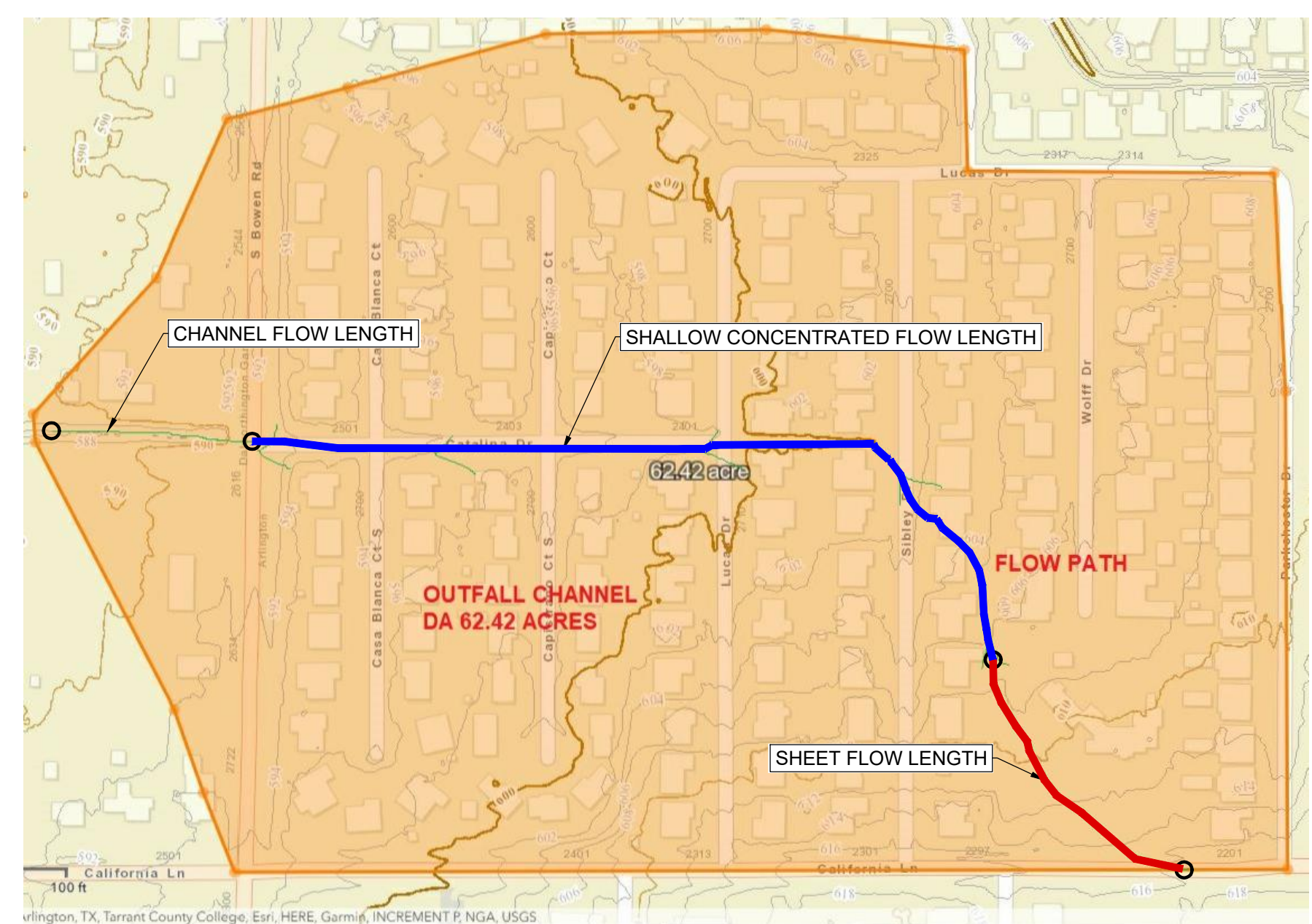
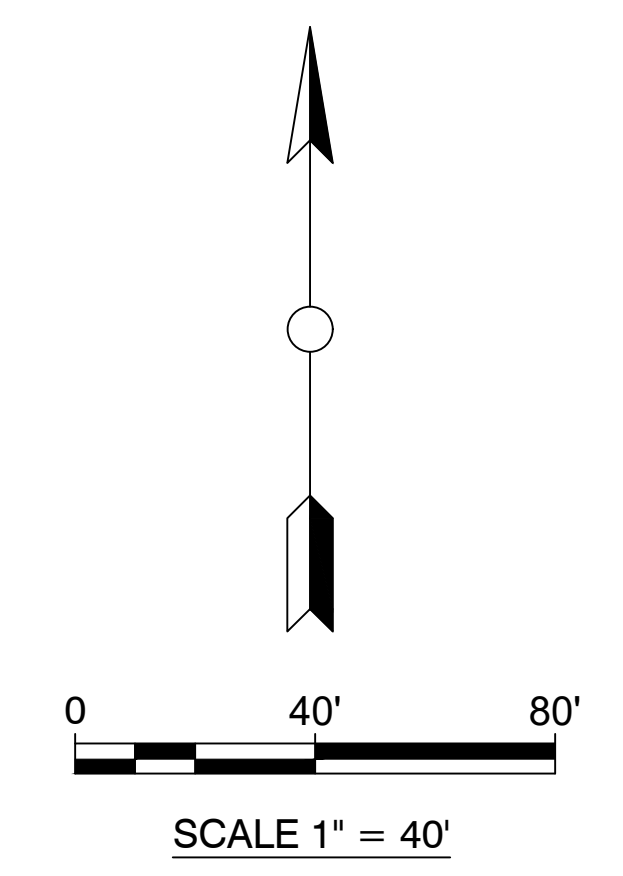
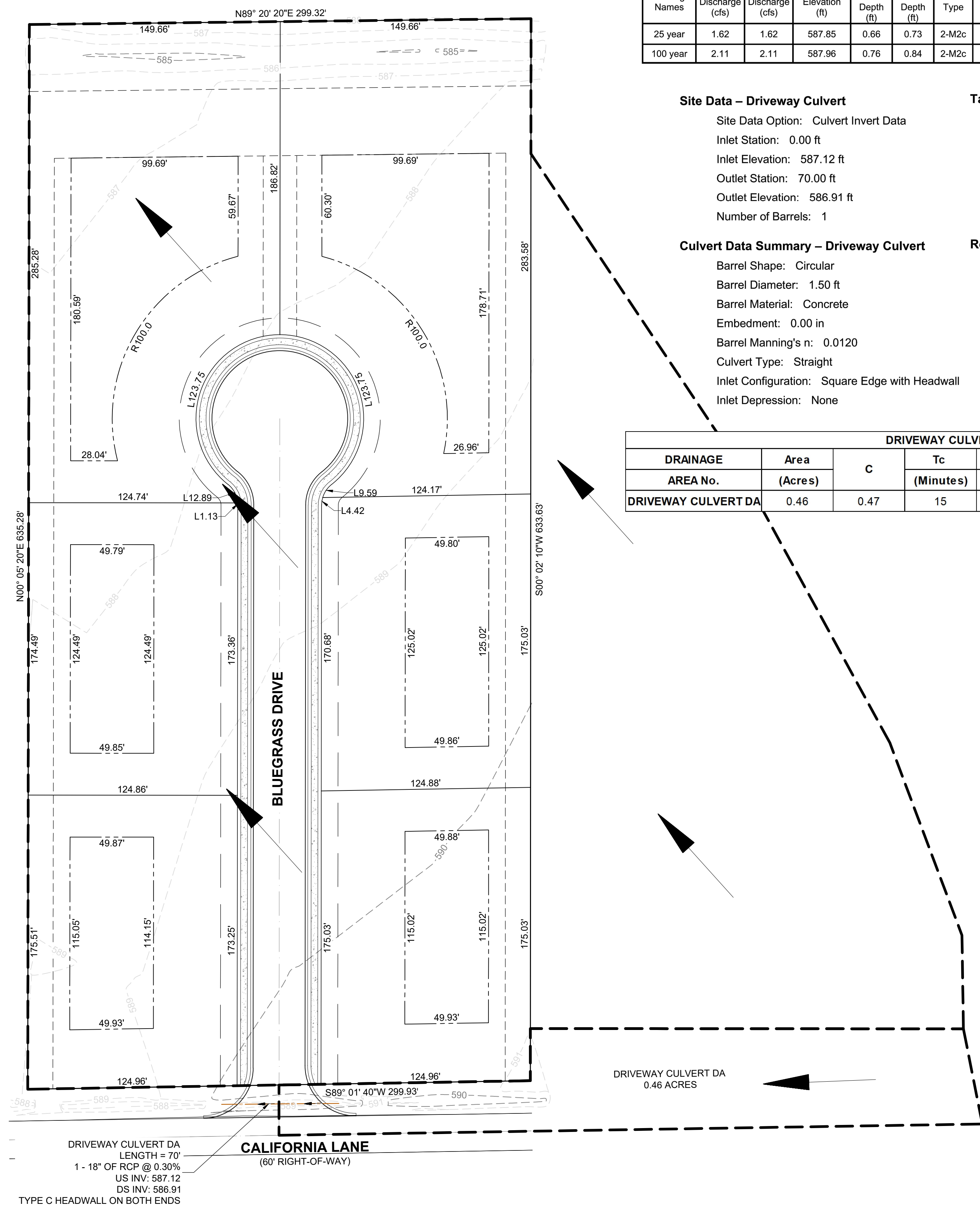
**Culvert Data Summary – Driveway Culvert**

Barrel Shape: Circular  
 Barrel Diameter: 1.50 ft  
 Barrel Material: Concrete  
 Embedment: 0.00 in  
 Barrel Manning's n: 0.0120  
 Culvert Type: Straight  
 Inlet Configuration: Square Edge with Headwall  
 Inlet Depression: None

**Roadway Data for Crossing: Driveway Culvert**

Roadway Profile Shape: Constant Roadway Elevation  
 Crest Length: 100.00 ft  
 Crest Elevation: 589.91 ft  
 Roadway Surface: Paved  
 Roadway Top Width: 50.00 ft

DRIVEWAY CULVERT							
DRAINAGE AREA No.	Area (Acres)	C	Tc (Minutes)	I <sub>25</sub> (in/hr)	I <sub>100</sub> (in/hr)	Q <sub>25</sub> (cfs)	Q <sub>100</sub> (cfs)
DRIVEWAY CULVERT DA	0.46	0.47	15	7.50	9.75	1.62	2.11



**TR55 Tc Worksheet**

Description	A	B	C	Totals
<b>Outfall Channel DA</b>				
<b>Sheet Flow</b>				
Manning's n-value	= 0.150	0.011	0.011	
Flow length (ft)	= 300.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.00	0.00	0.00	
Land slope (%)	= 1.00	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 27.85</b>	<b>+ 0.00</b>	<b>+ 0.00</b>	<b>= 27.85</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 1150.00	777.00	0.00	
Watercourse slope (%)	= 1.20	0.70	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	= 1.77	1.70	0.00	
<b>Travel Time (min)</b>	<b>= 10.84</b>	<b>+ 7.61</b>	<b>+ 0.00</b>	<b>= 18.46</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 75.00	0.00	0.00	
Wetted perimeter (ft)	= 40.59	0.00	0.00	
Channel slope (%)	= 0.20	0.00	0.00	
Manning's n-value	= 0.035	0.015	0.015	
Velocity (ft/s)	= 2.87	0.00	0.00	
Flow length (ft)	((0))574.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 3.33</b>	<b>+ 0.00</b>	<b>+ 0.00</b>	<b>= 3.33</b>
<b>Total Travel Time, Tc</b>				<b>50.00 min</b>

**NOTE:**  
 TR55 TC WORKSHEET SHOWN ON THIS SHEET REFERS TO THE TIME OF CONCENTRATION FOR THE UPSTREAM WATERSHED SHOWN ABOVE THE TC WORKSHEET ON THIS PLAN. TIME OF CONCENTRATION COMPUTATIONS INDICATE THAT ITS TC IS APPROXIMATELY 50 MIN WHICH IS ABOUT 3 TIMES THE TIME OF CONCENTRATION VALUE OF THE WATERSHED FOR THE SITE. THIS SHOWS THE PEAK FLOWS OF THE UPSTREAM WATERSHED AND THE WATERSHED ANALYZED FOR THE SITE DO NOT OCCUR AT THE SAME TIME.

**DRIVEWAY CULVERT DRAINAGE AREA AND COMPS**



**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*  
 NAME: NAVEEN KHAMMAMPATI  
 P.E. NO.: 123697  
 DATE: 04/14/2023  
 TBPE FIRM #F22283

**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
 DALWORTHINGTON GARDENS,  
 TEXAS

Project	Sheet
Date	06
Scale	16



**GRADING AND EROSION CONTROL PLAN**



**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nansen*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

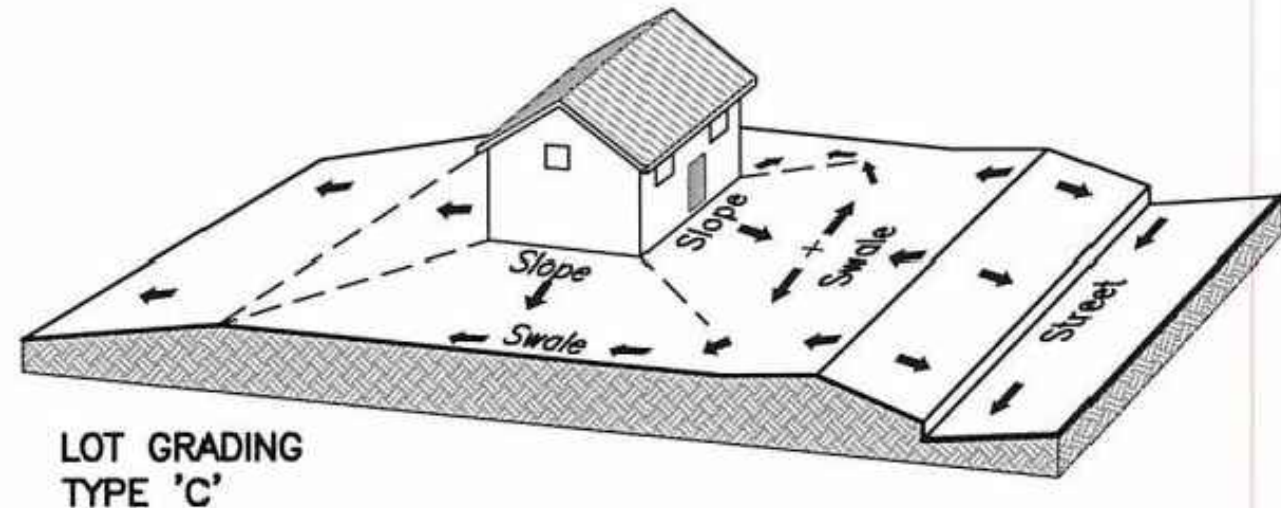
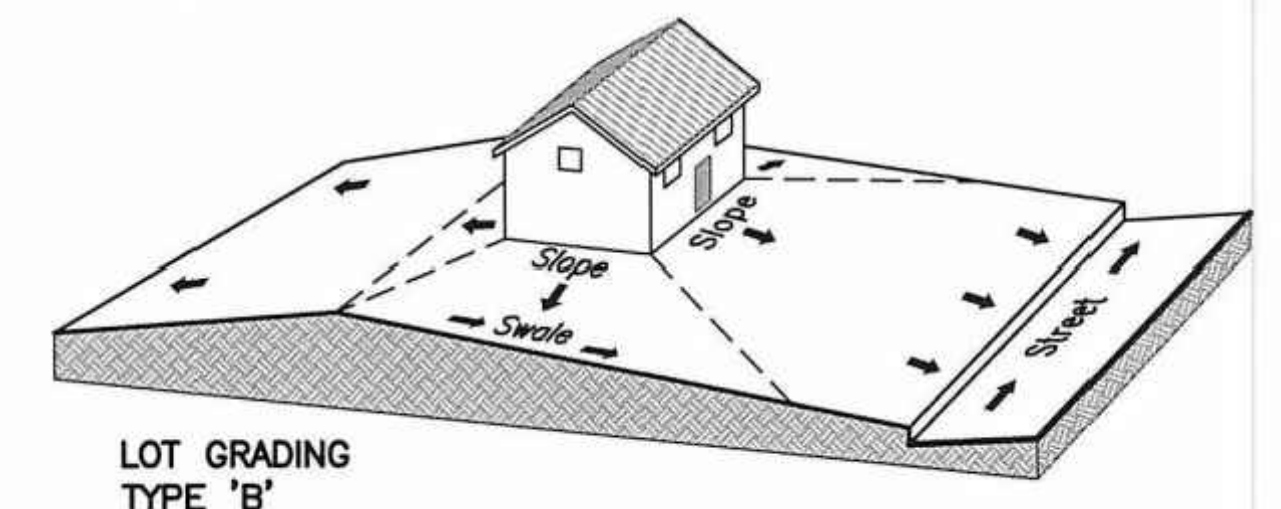
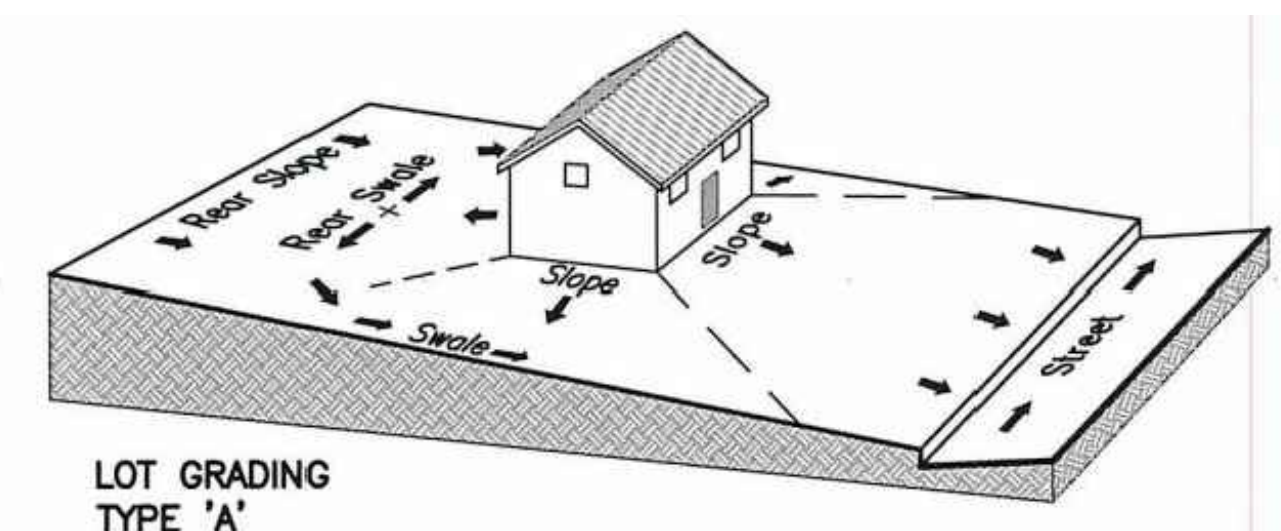
NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

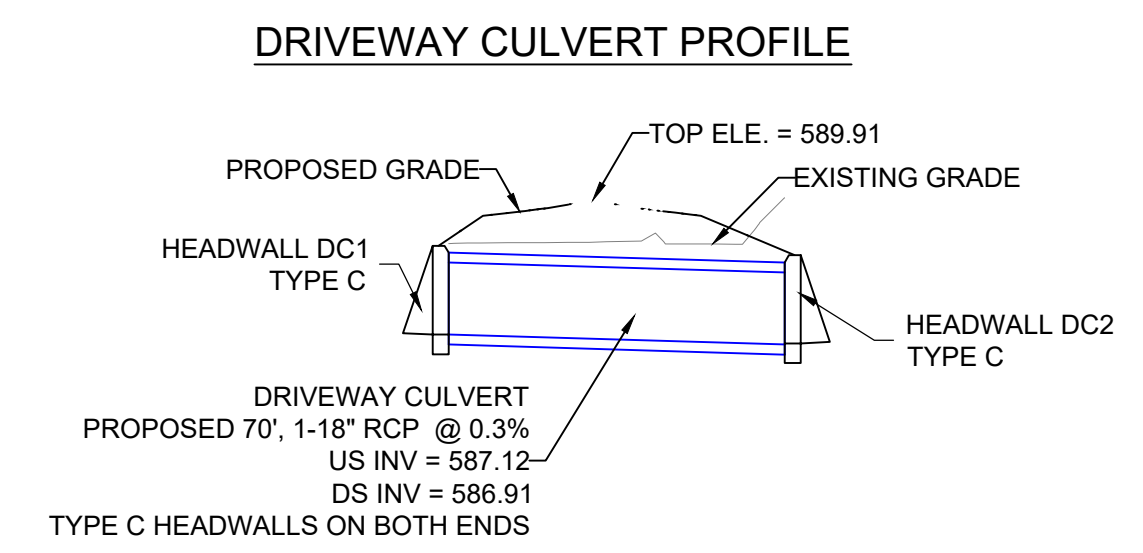
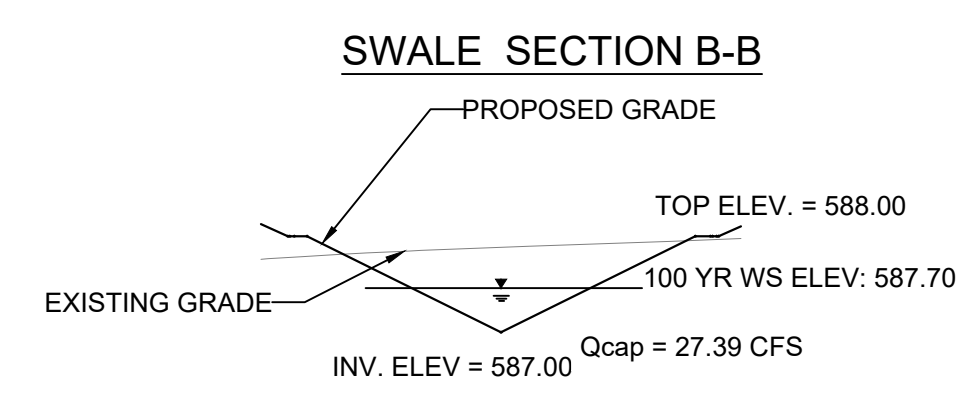
Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

Project Sheet  
Date 04 / 14 / 2023 08  
Scale 16

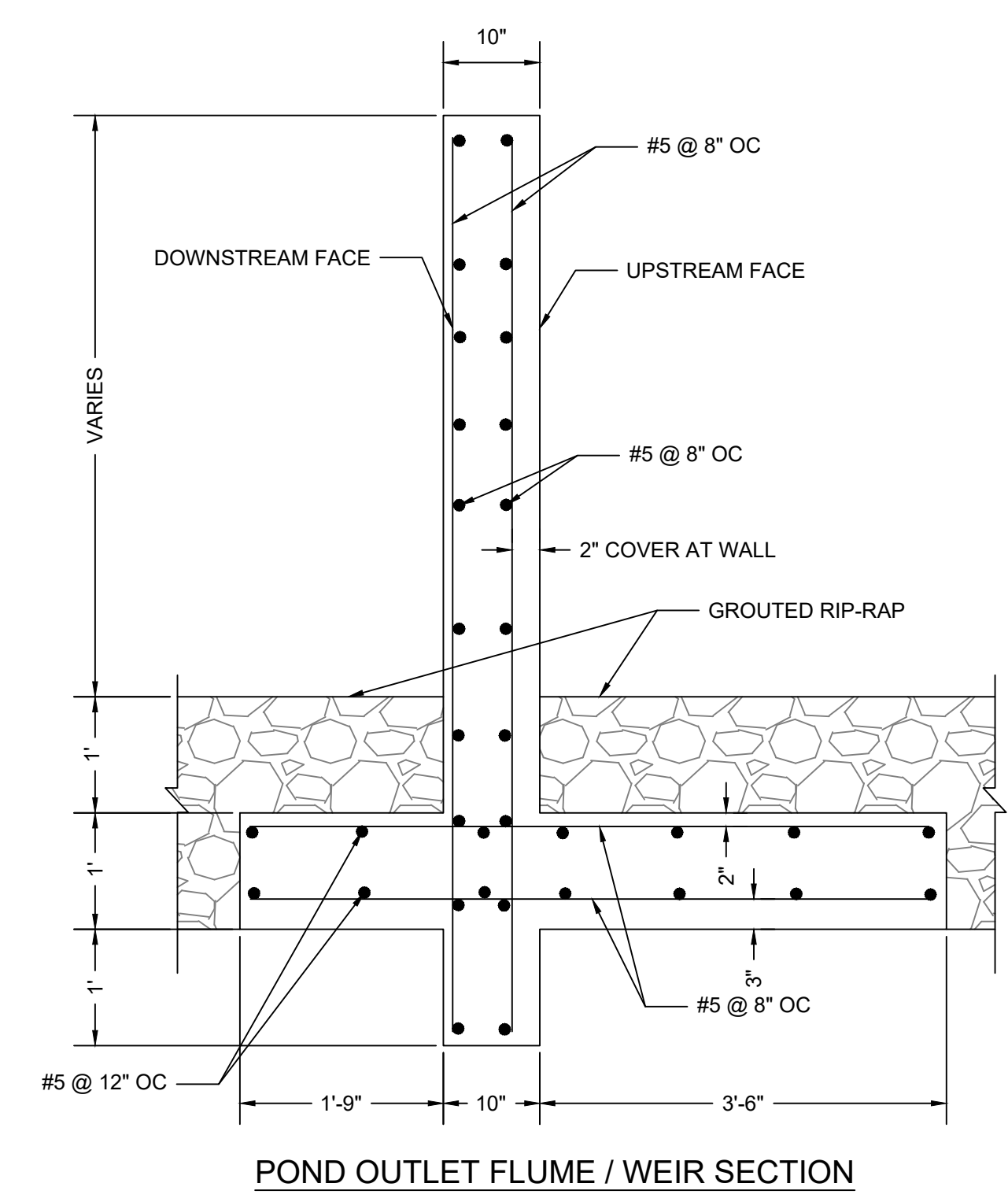
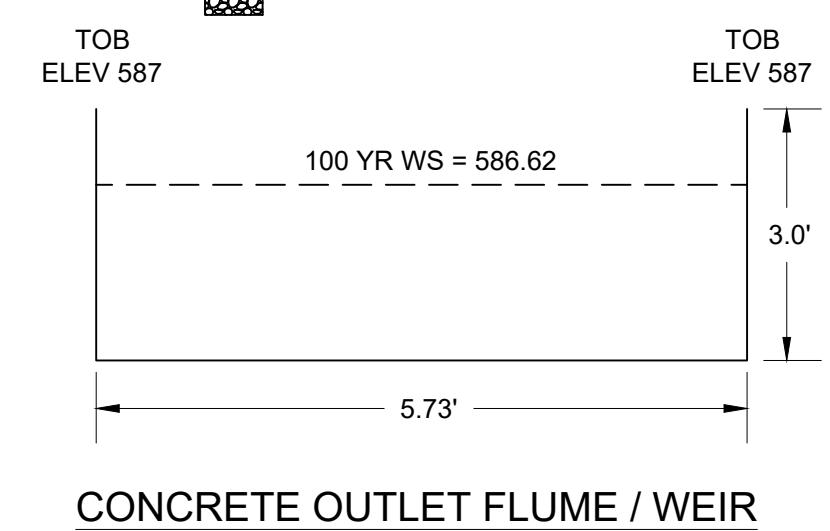
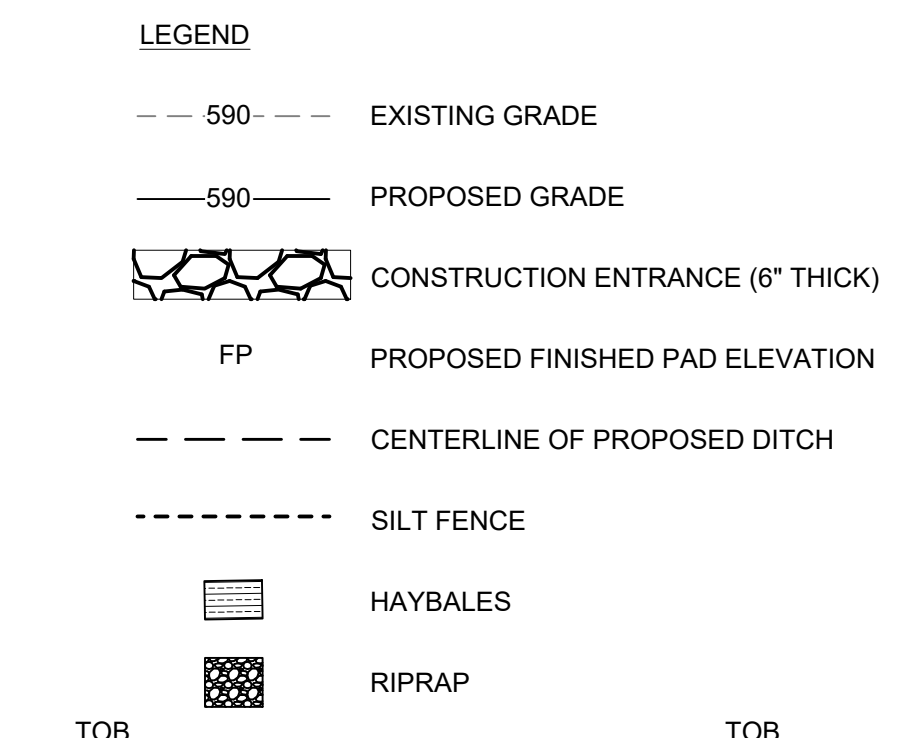
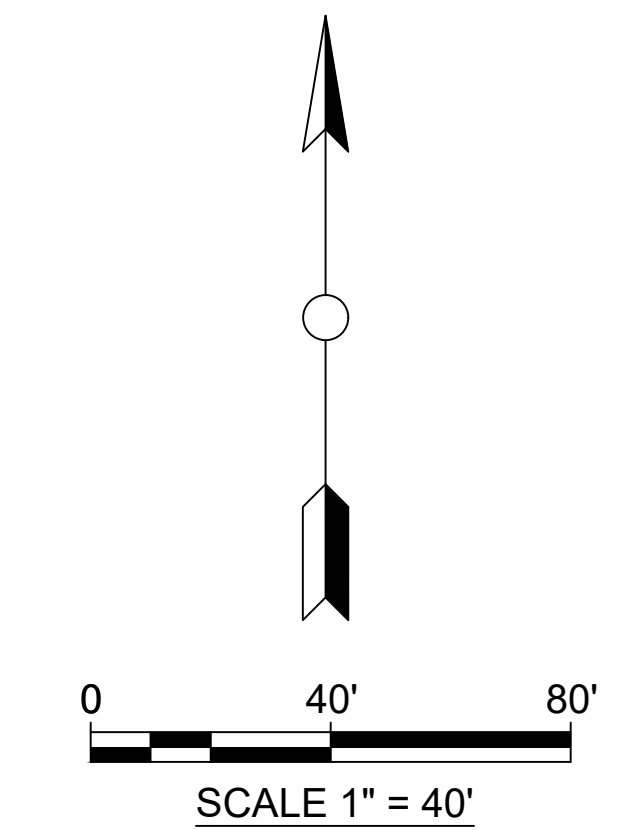
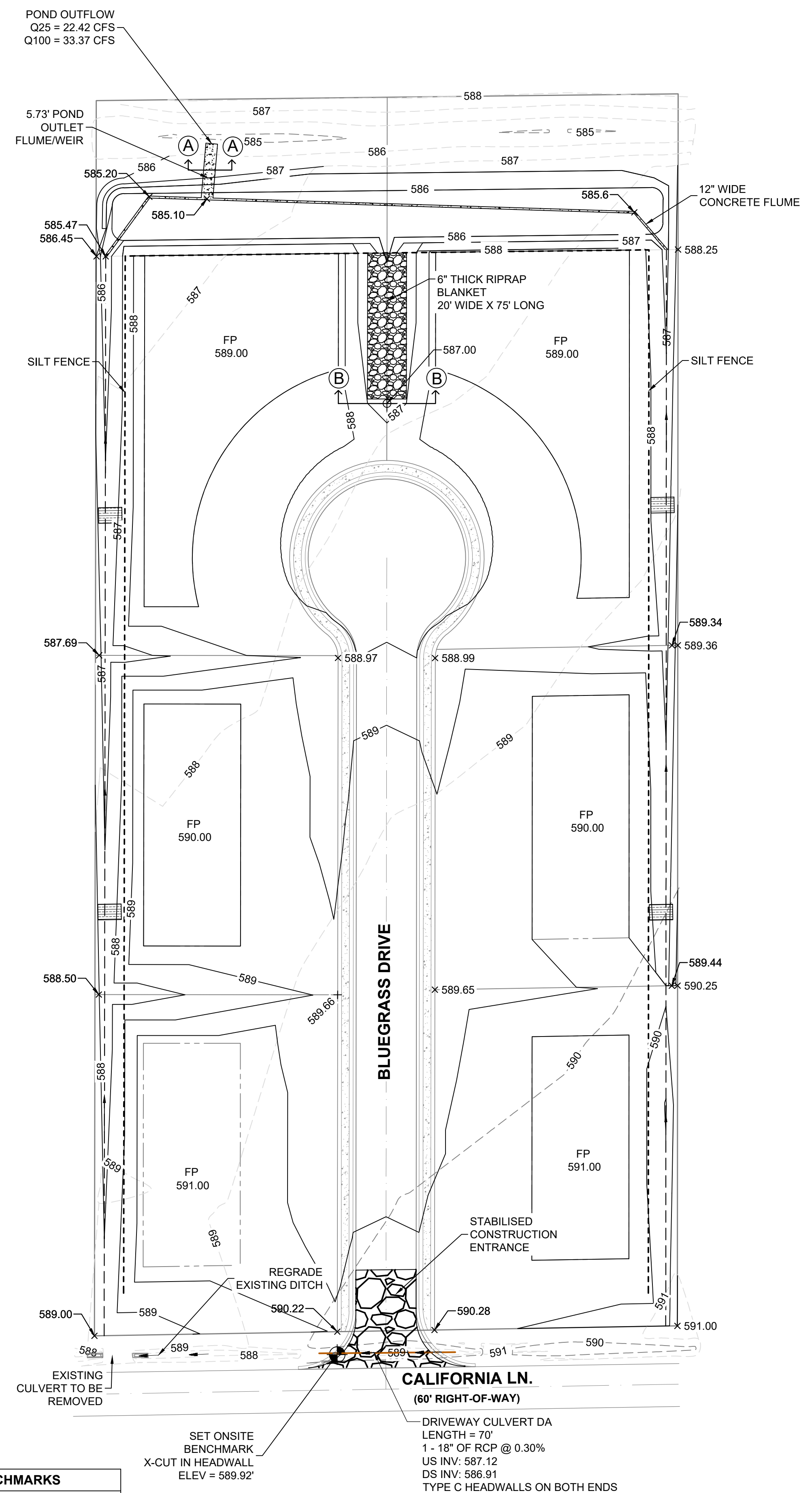


**NOTE:**  
REFER SHEET 5 FOR SWALE 100YR WATER SURFACE ELEVATION CALCULATIONS AND Qcap CALCULATIONS REPORTS.



**BENCHMARKS**

CITY OF ARLINGTON STATION AR - 13	
N	6942647.77
E	2378769.12
ELEVATION	575.98'
CITY OF ARLINGTON STATION AR - 71	
N	6940105.17
E	2386745.17
ELEVATION	628.87'



PATH: C:\Users\Admin\OneDrive\Documents\2021 DWG\07 - GRADING AND EROSION CONTROL PLAN

PROPOSED SITE PLAN



PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Hansen*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

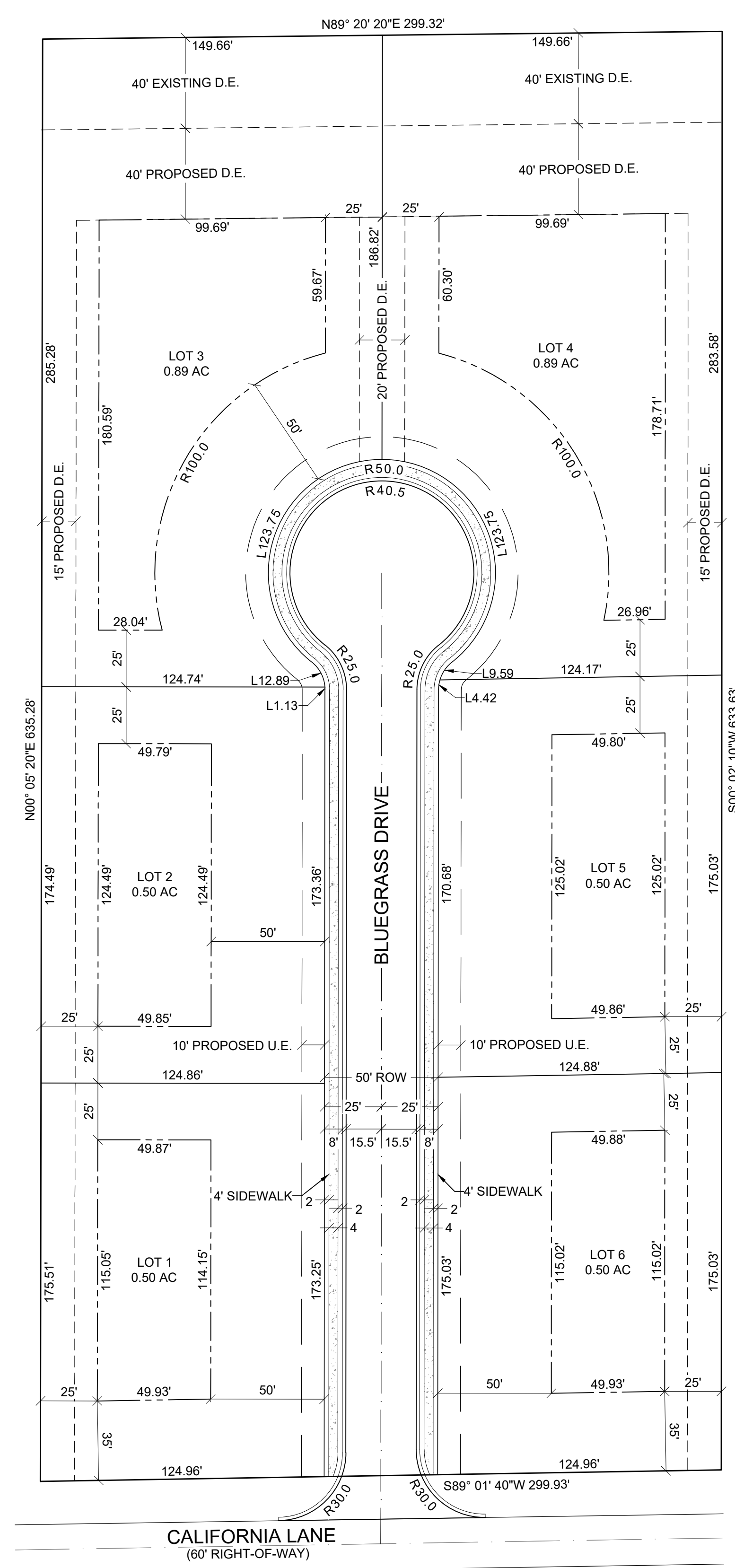
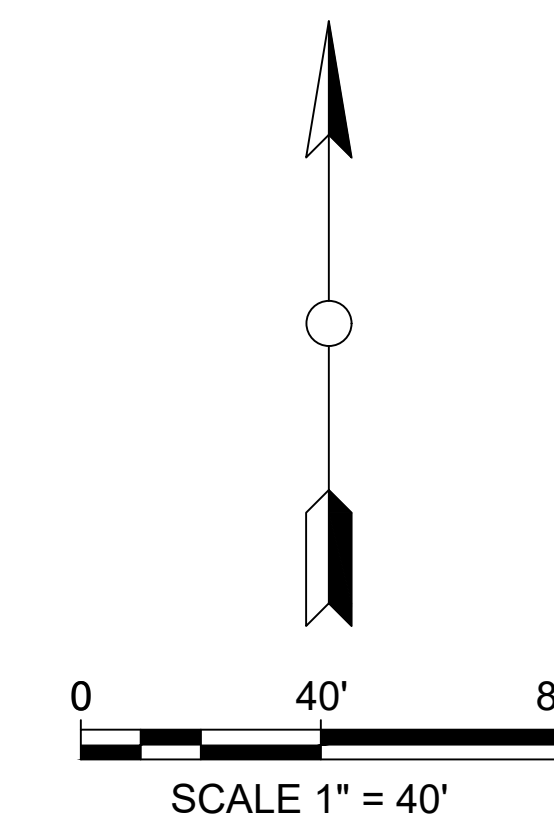
Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

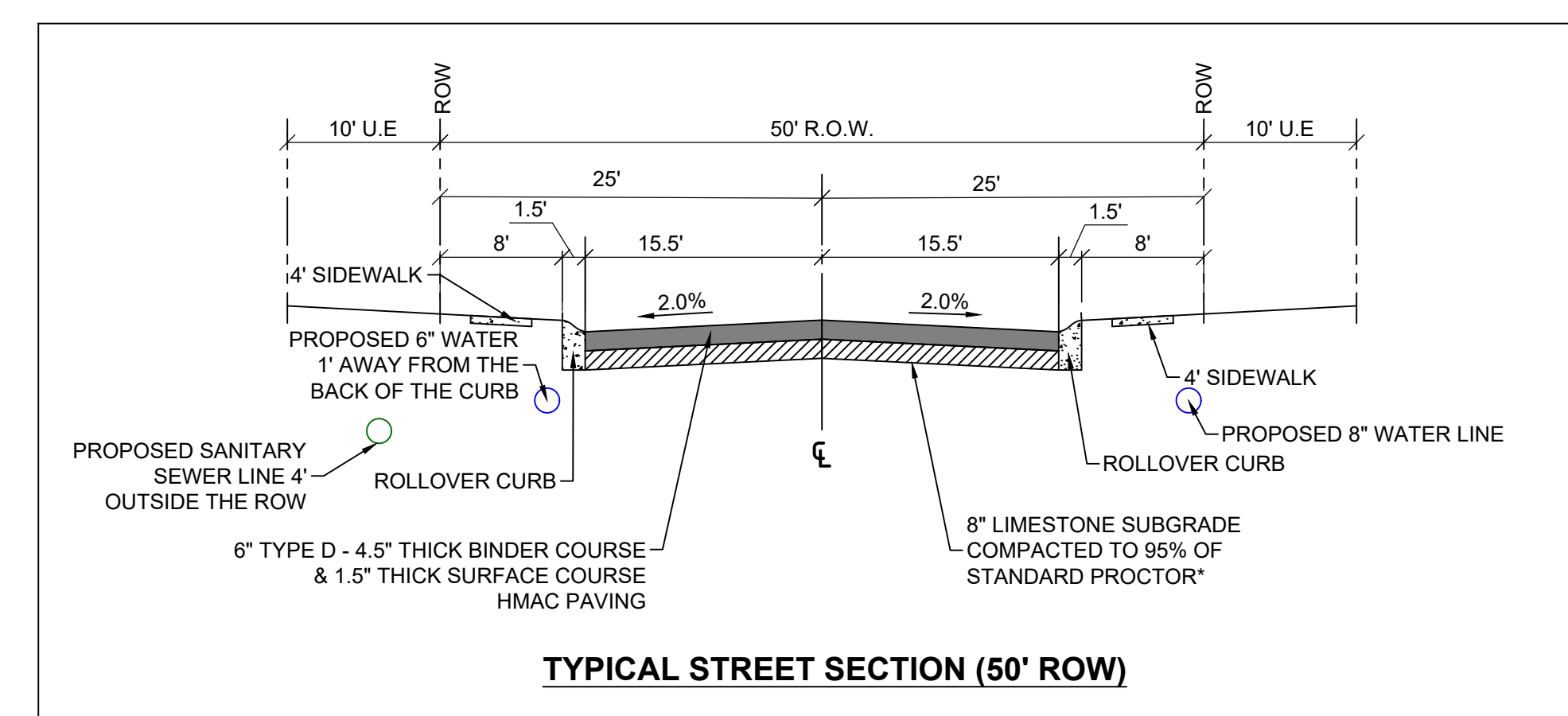
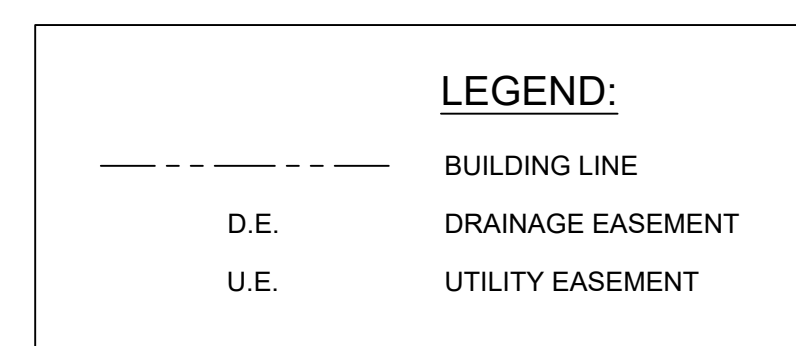
Project	Sheet
Date 04 / 14 / 2023	09
Scale	16



VICINITY MAP  
(N.T.S.)



**NOTE:**  
HOME OWNER/BUILDER IS RESPONSIBLE FOR THE INSTALLATION OF THE SIDEWALK IN FRONT OF THEIR PROPERTY.

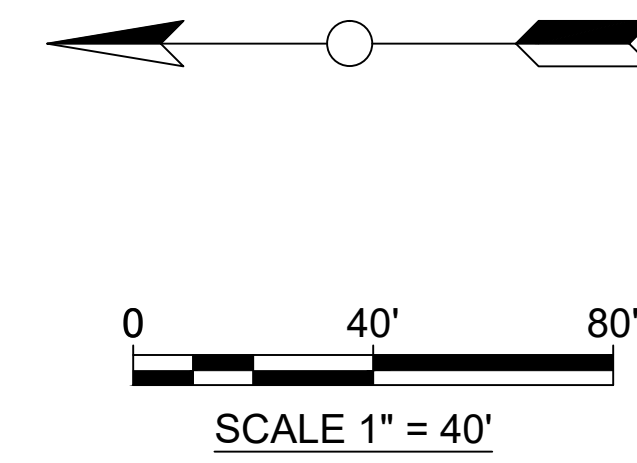
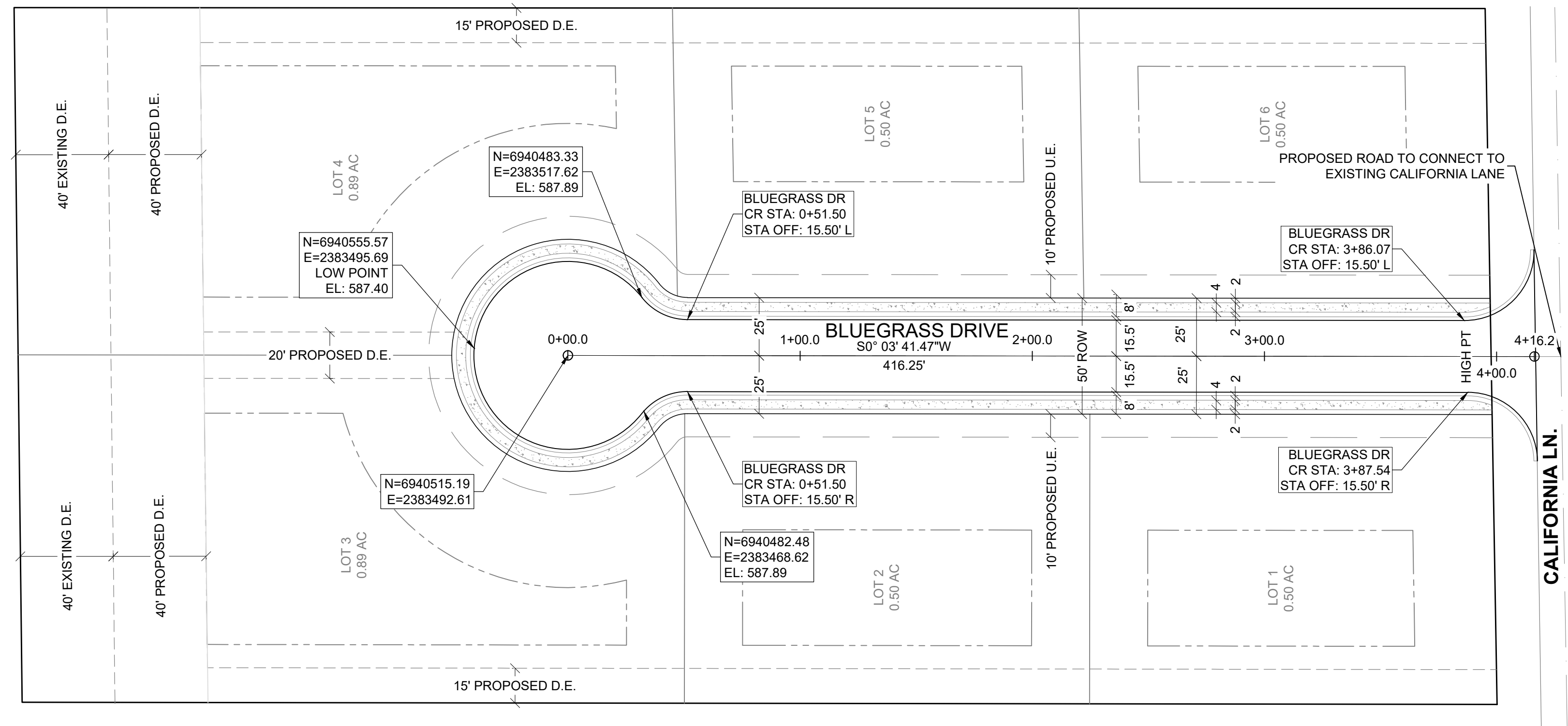


\* OWNER SHOULD CONSULT A GEOTECH ENGINEER FOR SOIL SAMPLING & STREET SECTION RECOMMENDATION IN ACCORDANCE WITH THE CITY OF DALWORTHINGTON GARDENS GUIDELINES.

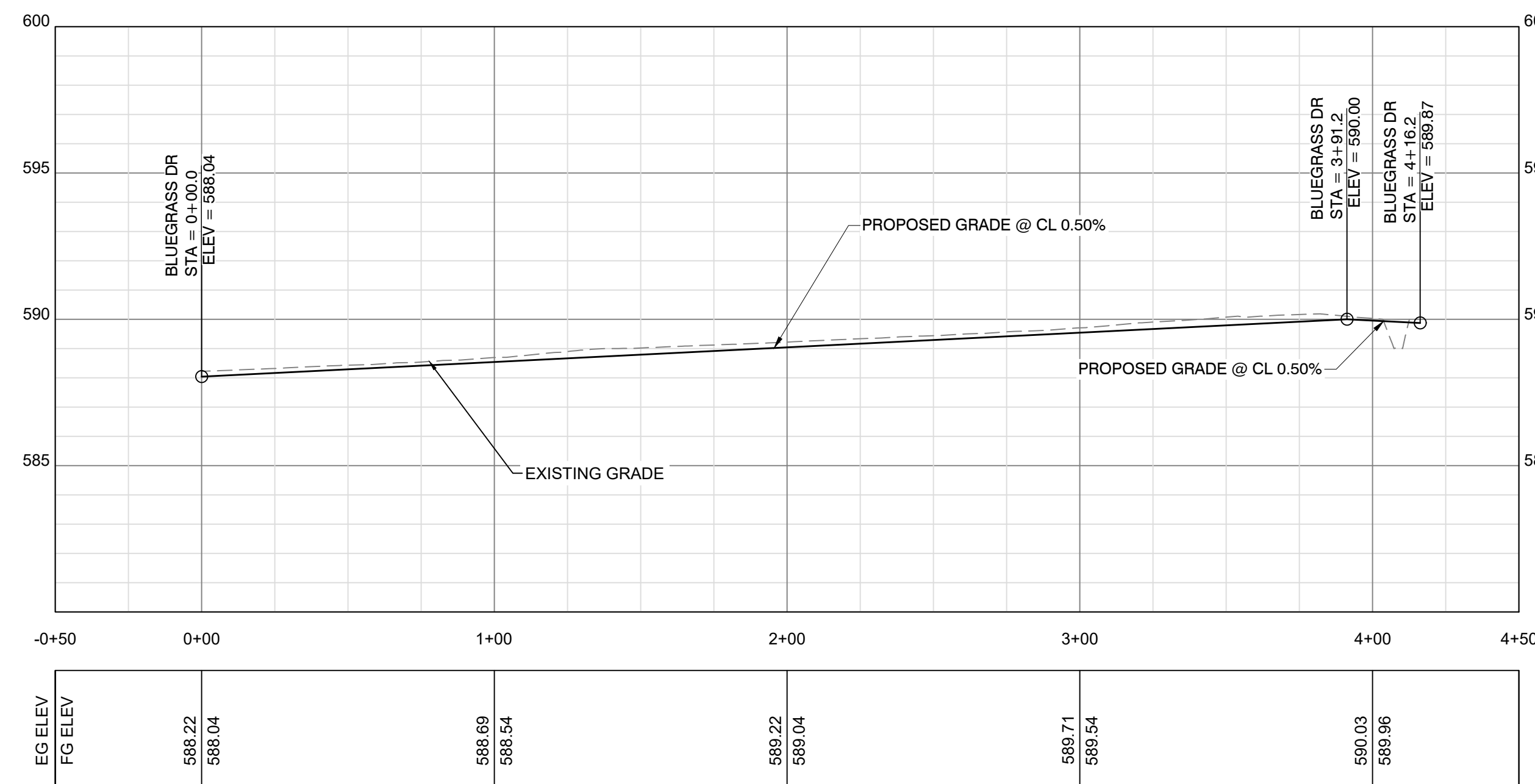
**SITE DATA:**  
SITE AREA: 4.364 ACRES  
TOTAL NO. OF LOTS: 6 LOTS  
EXISTING ZONING: SINGLE FAMILY 1 (SF-1)  
PROPOSED ZONING: SINGLE FAMILY 1 (SF-1)

SINGLE FAMILY RESIDENTIAL (SF)	
HEIGHT REGULATIONS	
BUILDING HEIGHT	35'
AREA REGULATIONS	
MINIMUM LOT AREA	21,780 SF
MINIMUM LOT WIDTH	80'
MINIMUM FRONT YARD	50'
MINIMUM SIDE YARD- INTERIOR LOT	25'
MINIMUM SIDE YARD- CORNER LOT	35'
MINIMUM REAR YARD (N-4)	25'
MINIMUM REAR YARD- DOUBLE FRONTAGE	35'
MAXIMUM LOT COVERAGE	28%
PARKING REGULATIONS (MIN. SPACES PER DWELLING UNIT)	2
MINIMUM FLOOR AREA	1,250 SF

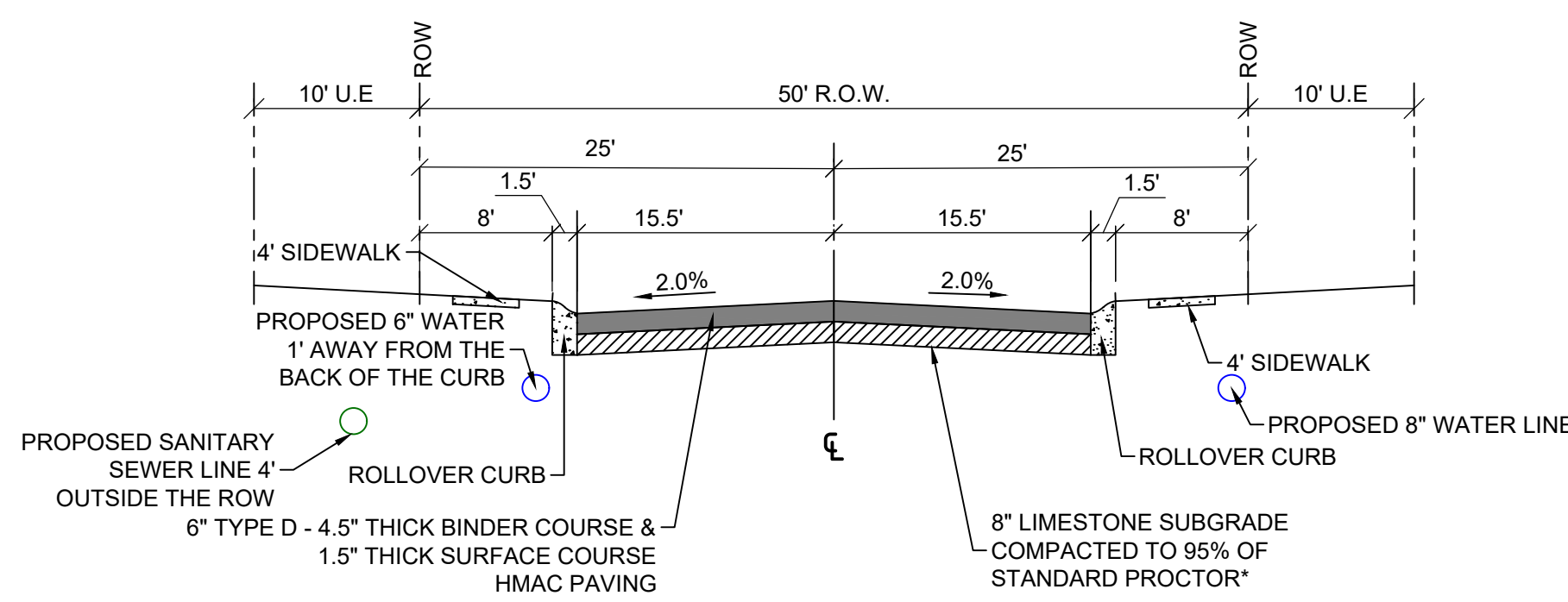
**BLUEGRASS DRIVE PLAN VIEW**



**BLUEGRASS DRIVE PROFILE VIEW**



VERTICAL: 1"=4'  
HORIZONTAL: 1"=40'



**TYPICAL STREET SECTION (50' ROW)**

**NOTE:**

HOME OWNER/BUILDER IS RESPONSIBLE FOR THE INSTALLATION OF THE SIDEWALK IN FRONT OF THEIR PROPERTY.  
\*12" LIMESTONE SUBGRADE COMPACTED TO 95% OF THE STANDARD PROCTOR ABOVE THE SEWER WHERE THE COVER IS LESS THAN 42". REFER TO SHEET 12 FOR STATIONING WHERE THE BASE MATERIAL THICKNESS IS 12".

**STREET PLAN AND PROFILE**



**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAME: NAVEEN KHAMMAMPATI 123697 P.E. NO.  
DATE: 04/14/2023  
TBPE FIRM #F22283

NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

Project	Sheet
Date 04 / 14 / 2023	10
Scale	16

**SANITARY SEWER PLAN**



**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Naves*

NAVEEN KHAMMAMPATI 123697  
 NAME P.E. NO.  
 DATE 04/14/2023  
 TBPE FIRM #F22283

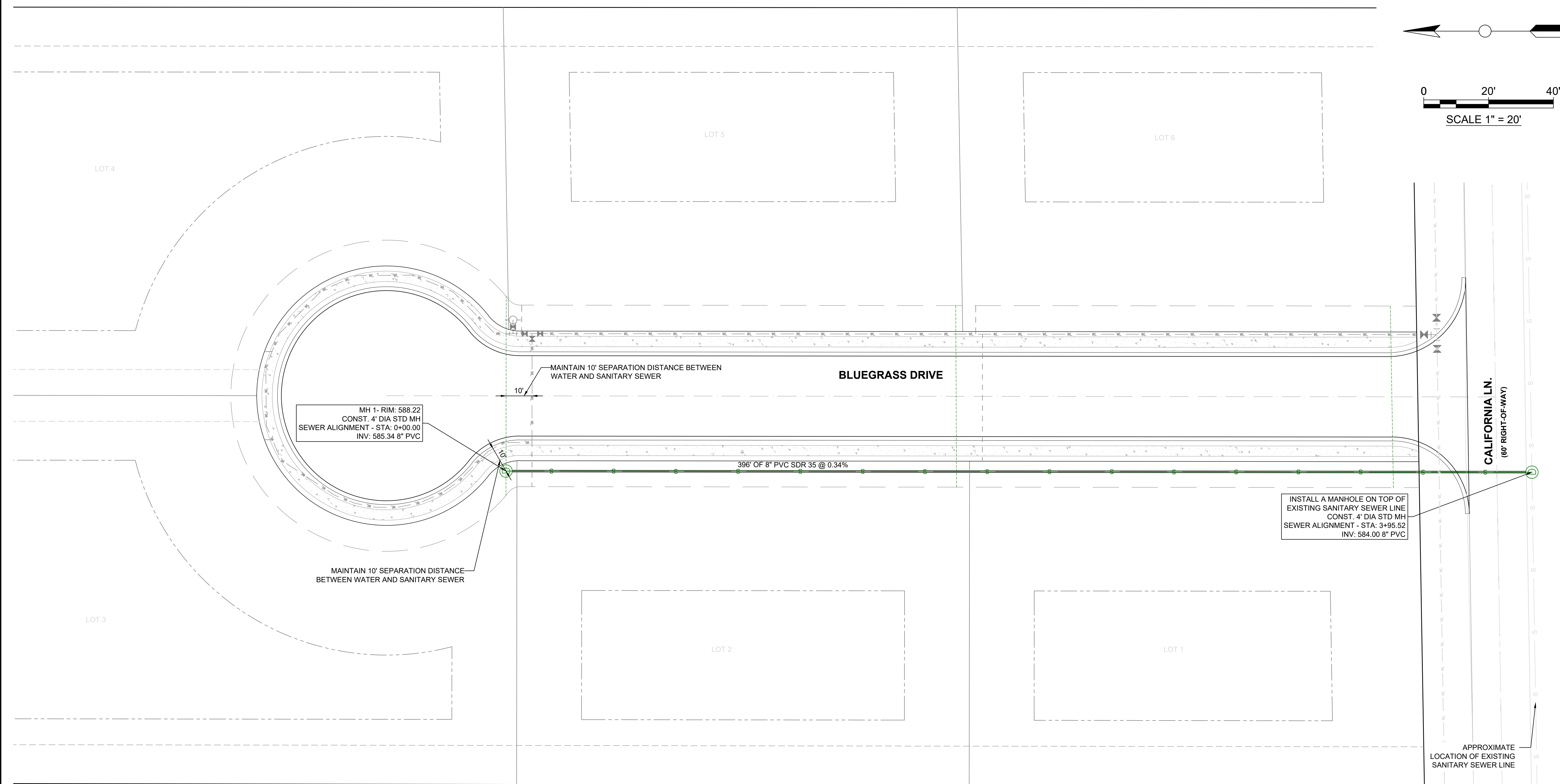
**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
 DALWORTHINGTON GARDENS,  
 TEXAS

Project	Sheet
Date 04 / 14 / 2023	11
Scale	16



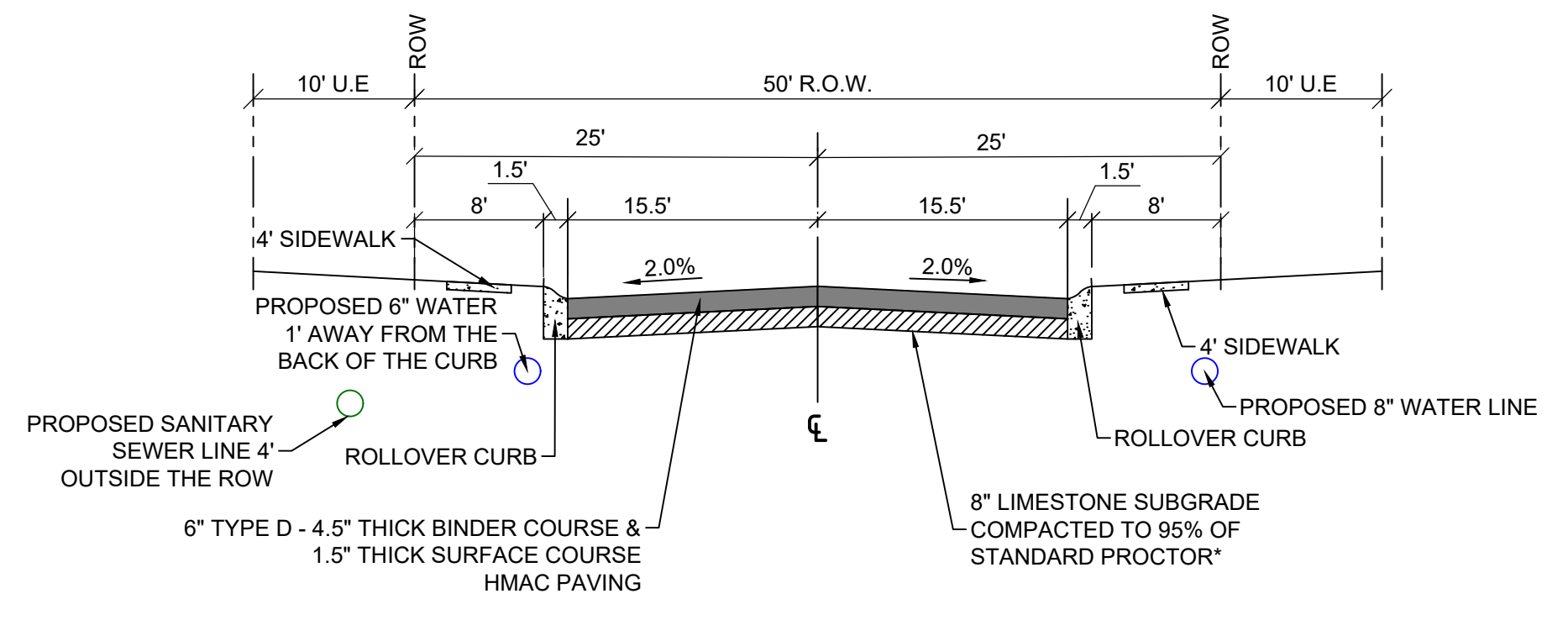
**NOTE:**  
 APPROXIMATE EXISTING PIPE INVERT SHOWN BASED ON THE INFORMATION PROVIDED BY THE CITY AND THE DEVELOPER. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THIS INVERT AND THE DEPTH OF THIS EXISTING SANITARY SEWER LINE BEFORE BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR TO FIELD VERIFY BEFORE BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**LEGEND**

	PROP. SANITARY SERVICE CONNECTION
	PROP. SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE

**PLAN VIEW**

**NOTE:**  
 HOME OWNER/BUILDER IS RESPONSIBLE FOR THE INSTALLATION OF THE SIDEWALK IN FRONT OF THEIR PROPERTY.



**TYPICAL STREET SECTION (50' ROW)**



PATH: C:\Users\Admin\OneDrive\Documents\2021 DWG\2021\DWG\11,12 - SEWER PLAN AND PROFILE.dwg  
 LAYOUT: SANITARY SEWER PLAN



**SANITARY SEWER PROFILE**



**PRELIMINARY  
FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

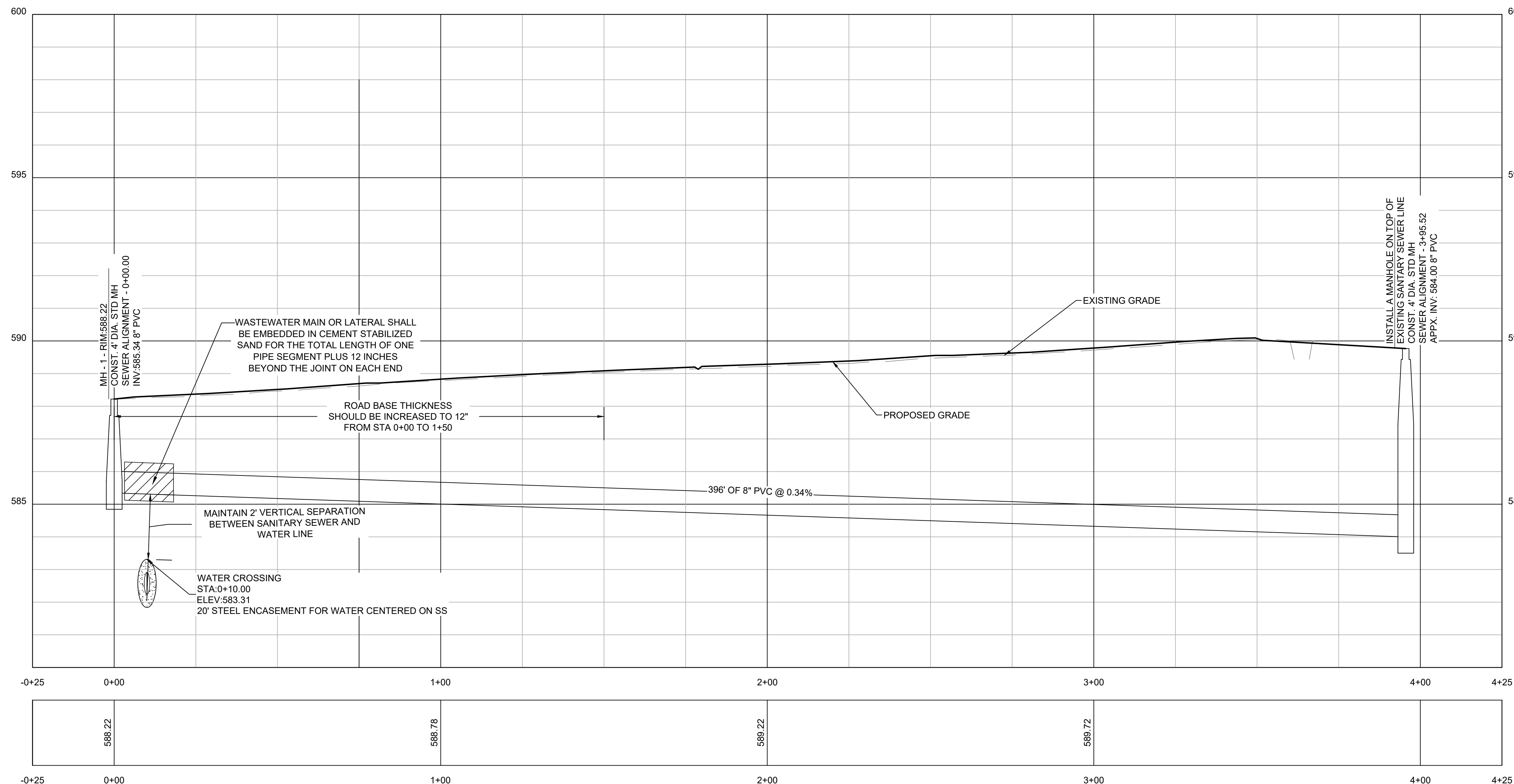
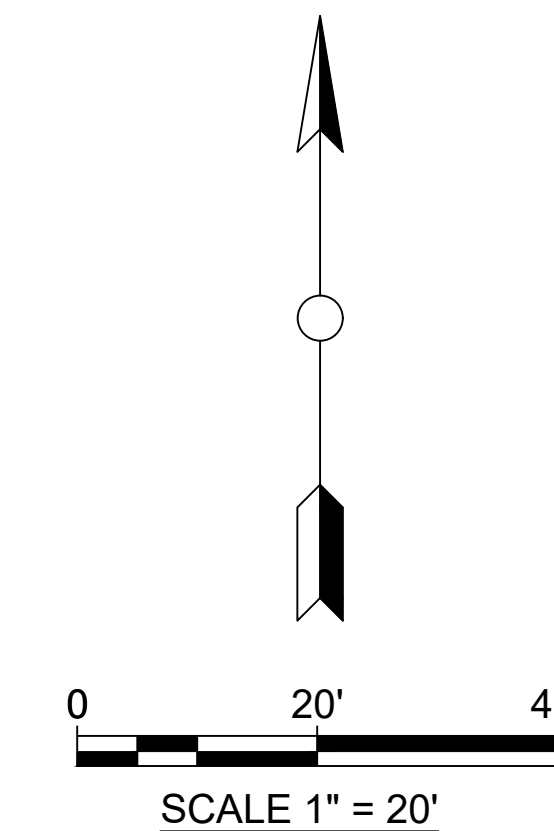
**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
 DALWORTHINGTON GARDENS,  
 TEXAS

Project	Sheet
Date 04 / 14 / 2023	12
Scale	16



**SANITARY SEWER PROFILE**

**NOTE:**  
 APPROXIMATE EXISTING PIPE INVERT SHOWN BASED ON THE INFORMATION PROVIDED BY THE CITY AND THE DEVELOPER. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THIS INVERT AND THE DEPTH OF THIS EXISTING SANITARY SEWER LINE BEFORE BEGINNING ANY SANITARY SEWER WORK.  
 THE CONTRACTOR TO FIELD VERIFY BEFORE BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**NOTE:**  
 ROAD WILL HAVE 12" BASE WHERE COVER LESS THAN 42".



**WATER PLAN**



**PRELIMINARY  
FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Naves*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

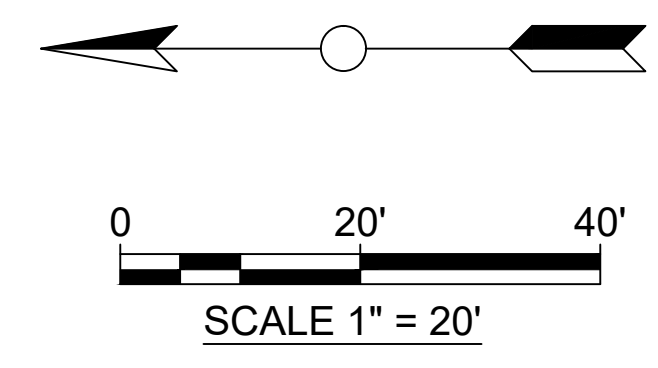
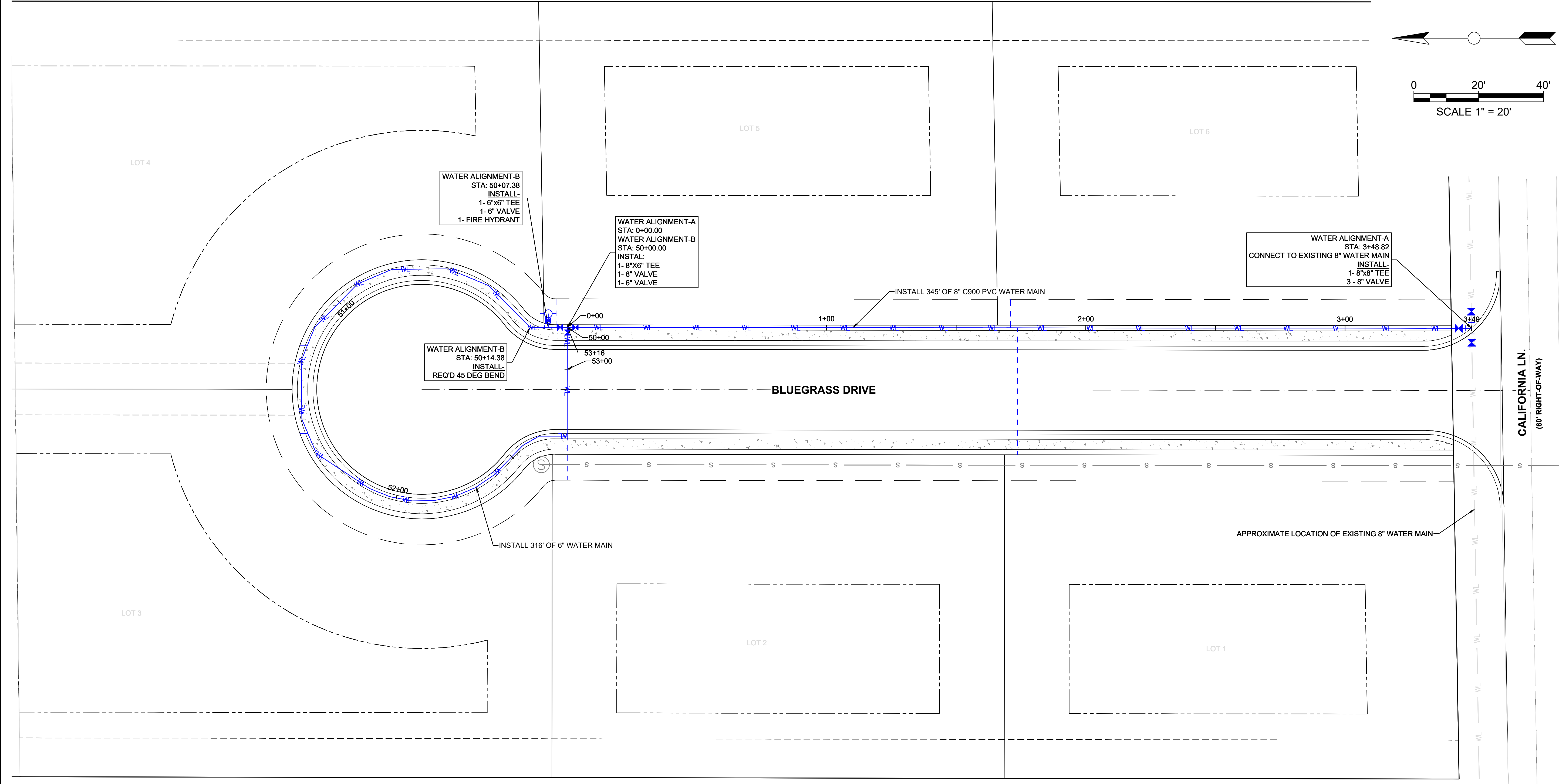
**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

Project	Sheet
Date 04 / 14 / 2023	13
Scale	16

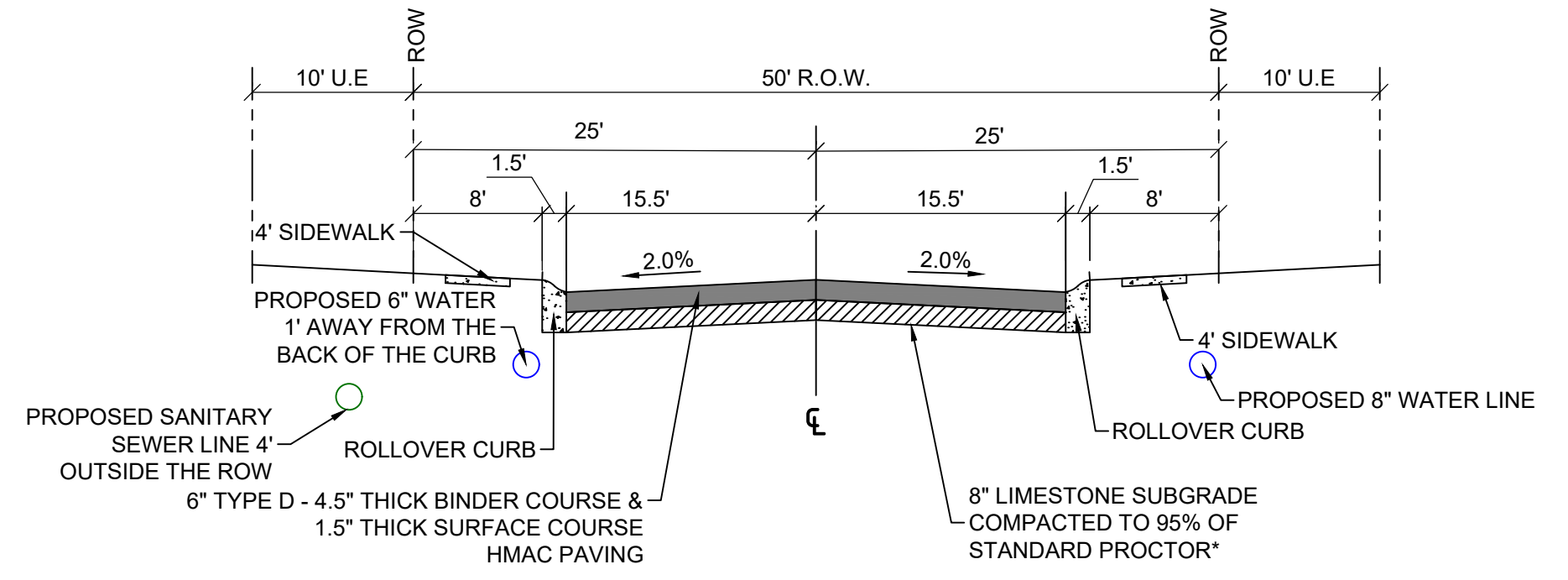


**NOTE:**  
APPROXIMATE EXISTING PIPE INVERT SHOWN BASED ON THE INFORMATION PROVIDED BY THE CITY AND THE DEVELOPER.  
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THIS INVERT AND THE DEPTH OF THIS EXISTING WATER LINE BEFORE BEGINNING ANY WATER WORK.  
THE CONTRACTOR TO FIELD VERIFY BEFORE BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**PLAN**

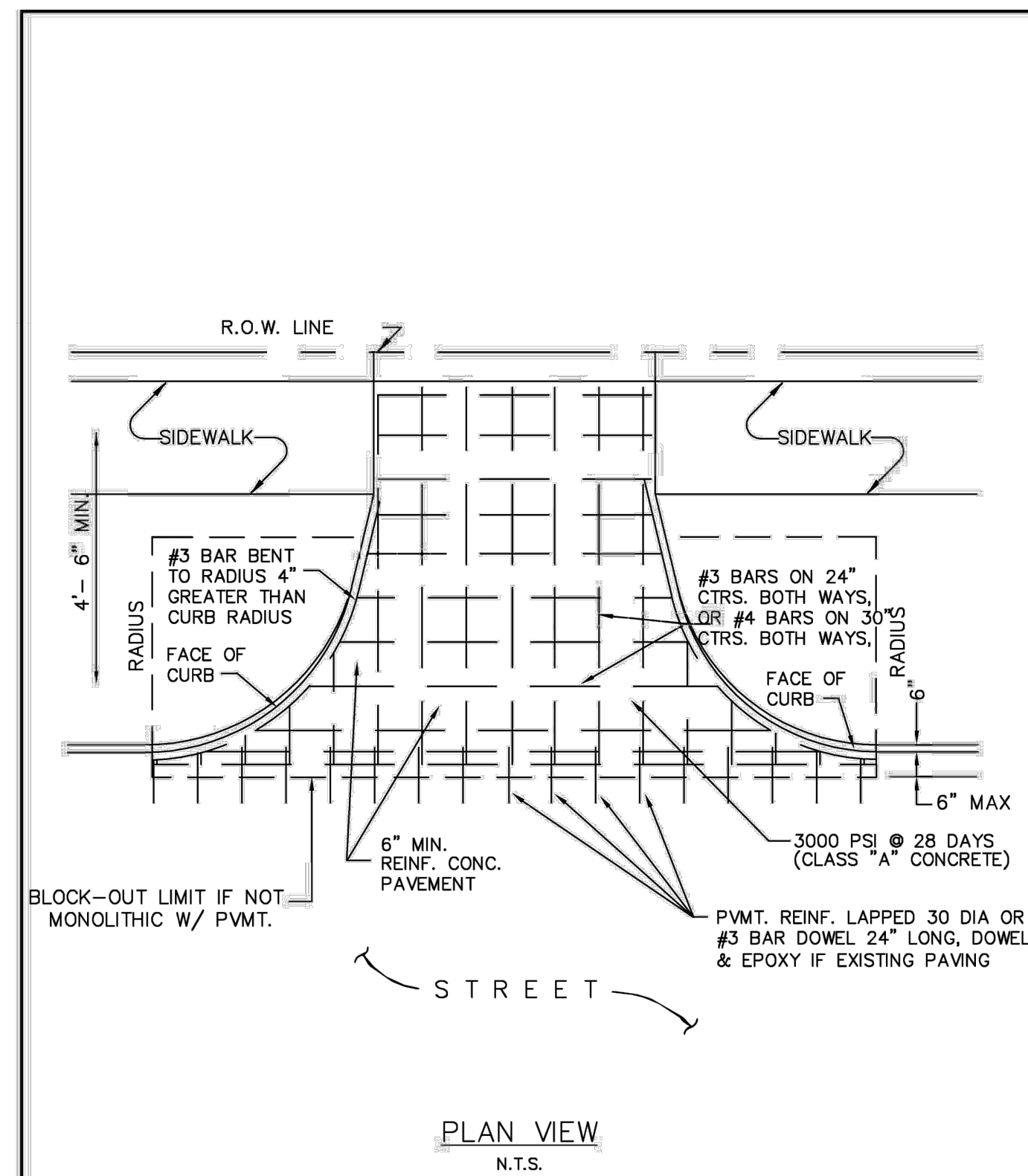
- LEGEND**
- WL — PROP. WATER LINE
  - - - - - PROP. WATER SERVICE CONNECTION
  - WL — EXISTING WATER LINE
  - PROP. FIRE HYDRANT
  - ✕ PROP. GATE VALVE
  - ┌─┐ PROP. TEE

**NOTE:**  
HOME OWNER/BUILDER IS RESPONSIBLE FOR THE INSTALLATION OF THE SIDEWALK IN FRONT OF THEIR PROPERTY.



**TYPICAL STREET SECTION (50' ROW)**

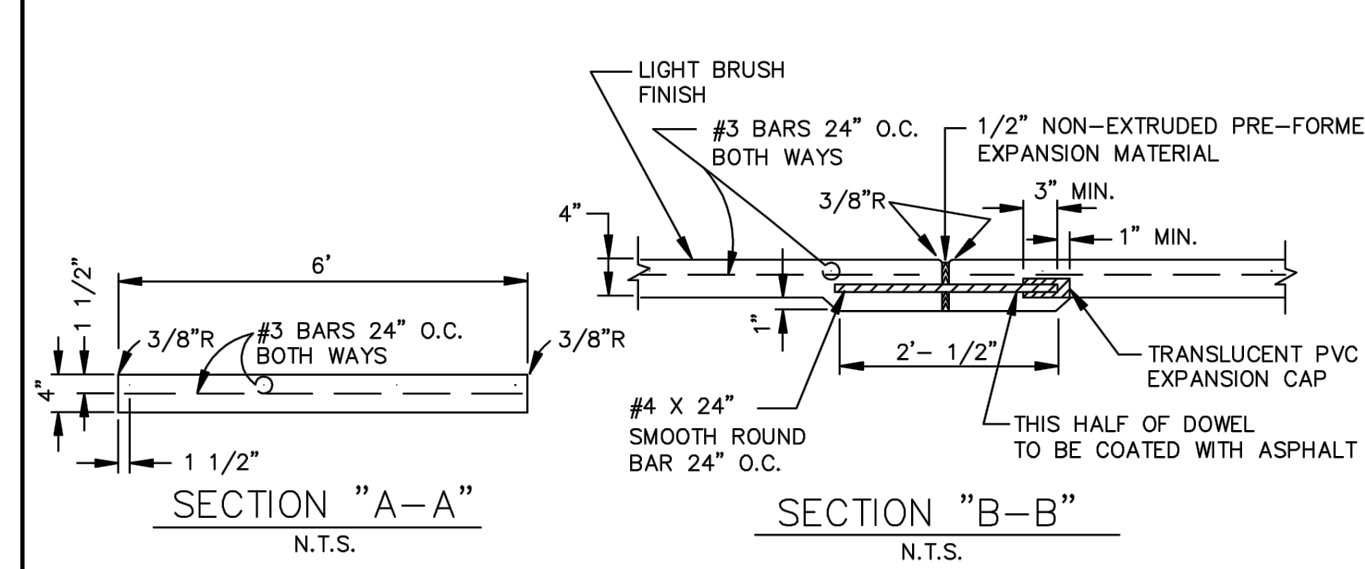
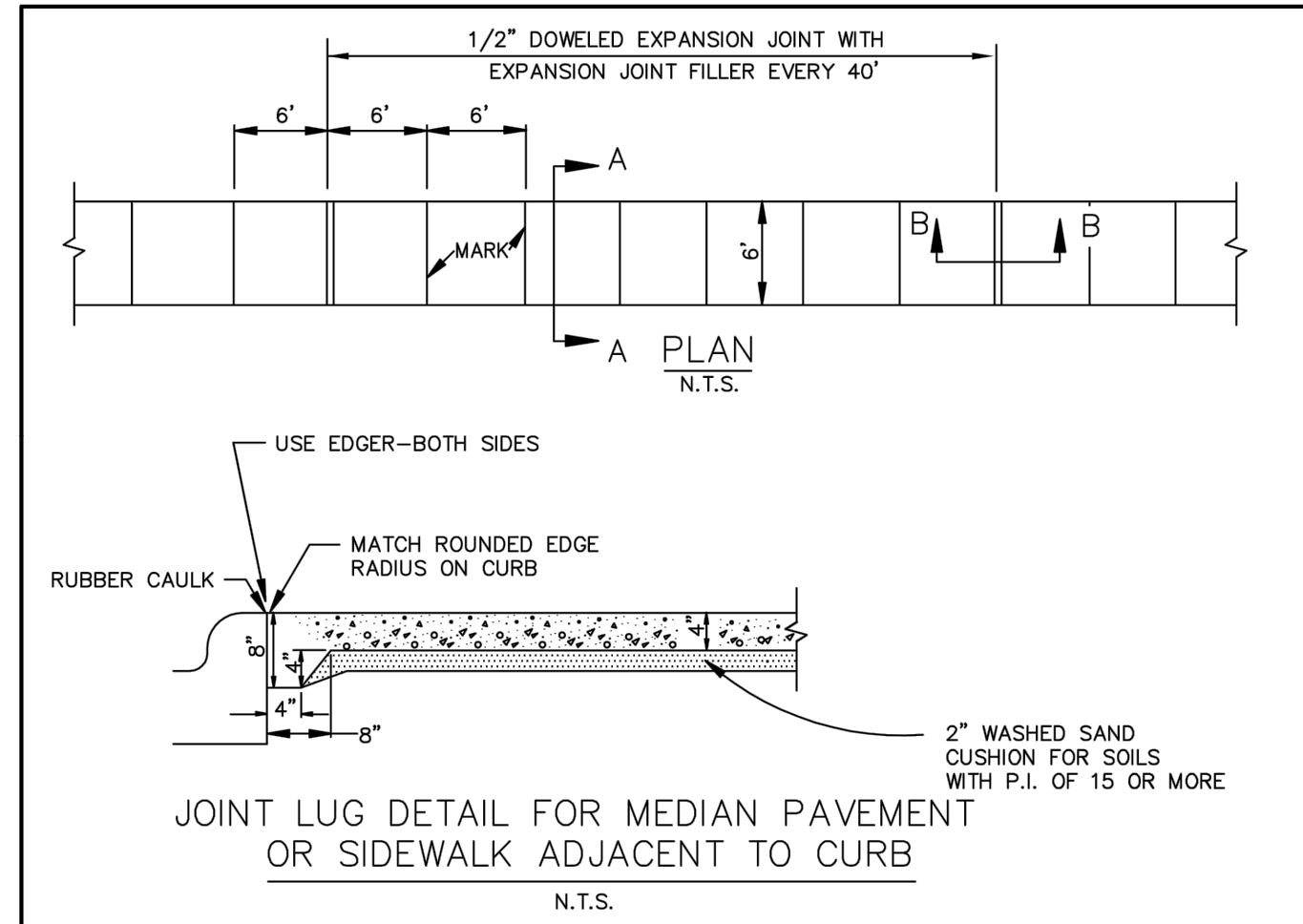




**DRIVEWAY APPROACH  
RADIUS RETURN TYPE**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 305.2*
DATE OCT. '04	STANDARD DRAWING NO. 2155

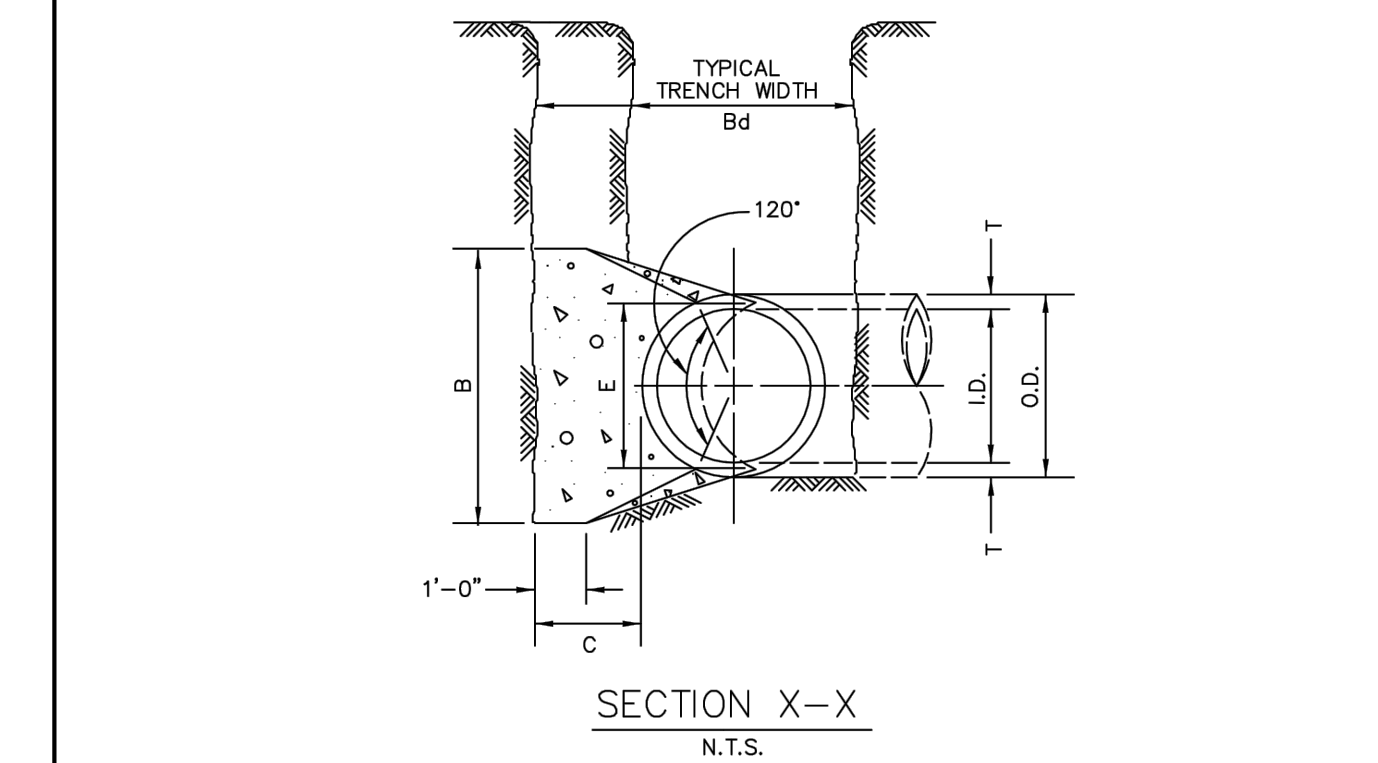
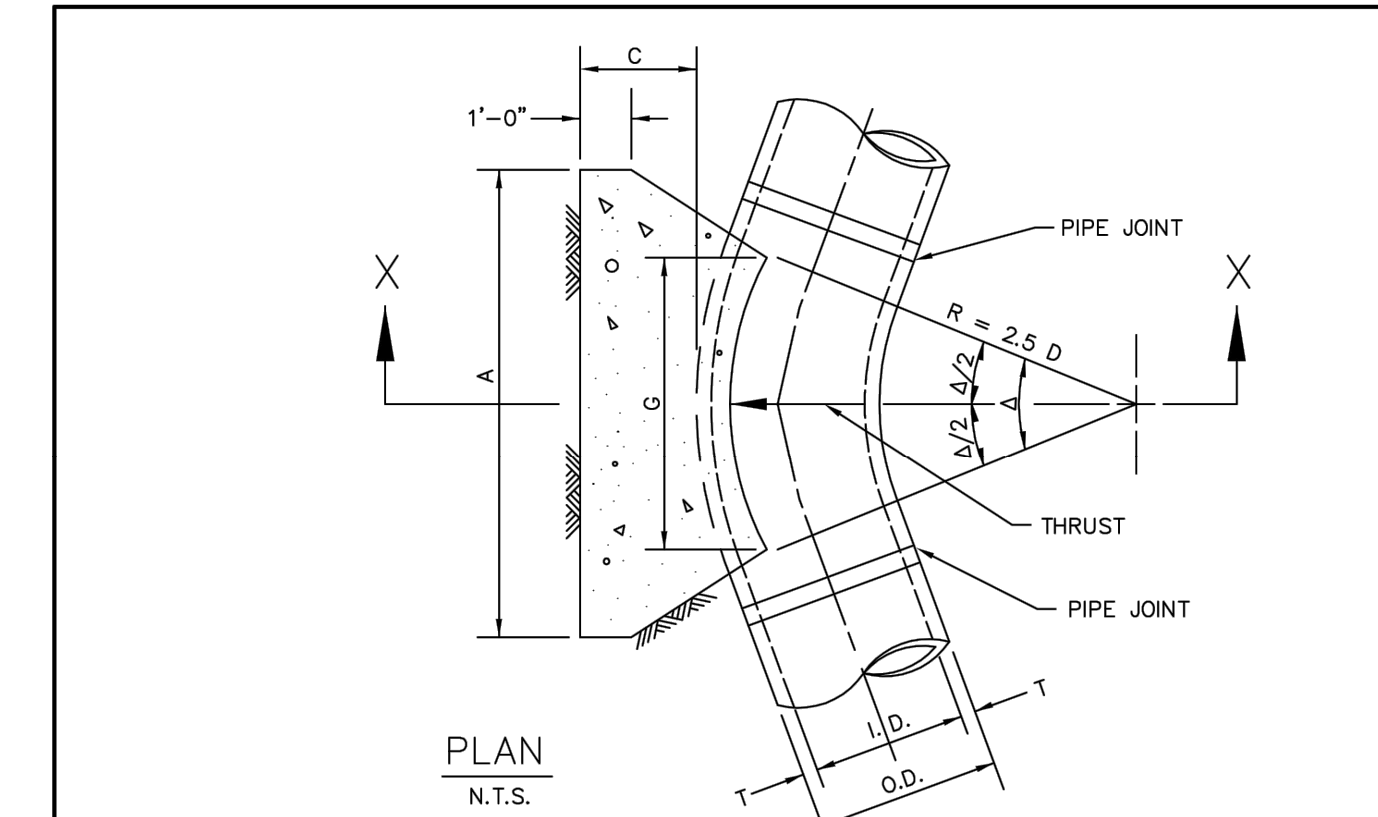
\*Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



- NOTE:**
- REFER TO STANDARD SPECIFICATION ITEM 305.2 FOR ALTERNATE REINFORCEMENT.
  - CROSS SLOPE OF SIDEWALK SHALL BE  $\pm 1/4"$  PER FT. MIN. TO  $\pm 3/8"$  PER FT. MAX.
  - OTHER THAN 6'-0" SIDEWALK WIDTH MAY BE SPECIFIED BY OWNER.
  - SIDEWALK SHALL BE CLASS "A" CONCRETE UNLESS OTHERWISE SPECIFIED BY OWNER.
  - ALL HONEYCOMB IN BACK OF CURB TO BE TROWEL-PLASTERED BEFORE POURING SIDEWALK.
  - LUG MAY BE FORMED BY SHAPING SUBGRADE TO APPROXIMATE DIMENSIONS SHOWN.

**REINFORCED CONCRETE SIDEWALKS  
JOINTS AND SPACING**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 305.2
DATE OCT. '04	STANDARD DRAWING NO. 2170



**HORIZONTAL THRUST BLOCK  
AT PIPE BEND**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 502.4
DATE OCT. '04	STANDARD DRAWING NO. 4010A

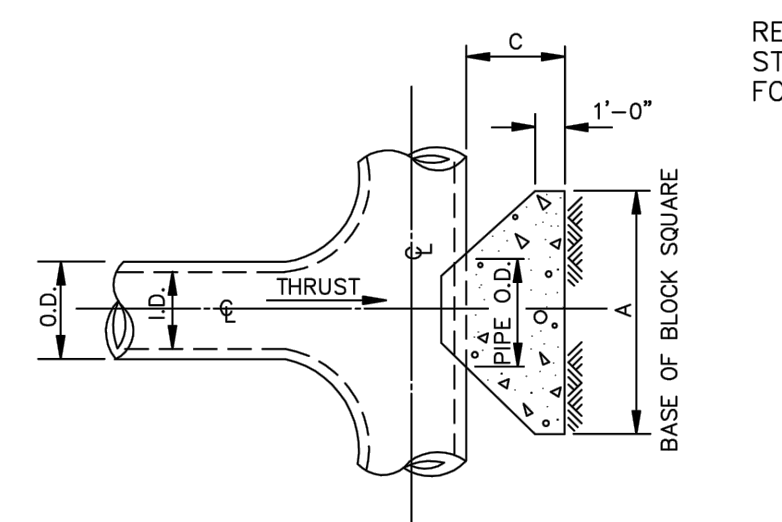
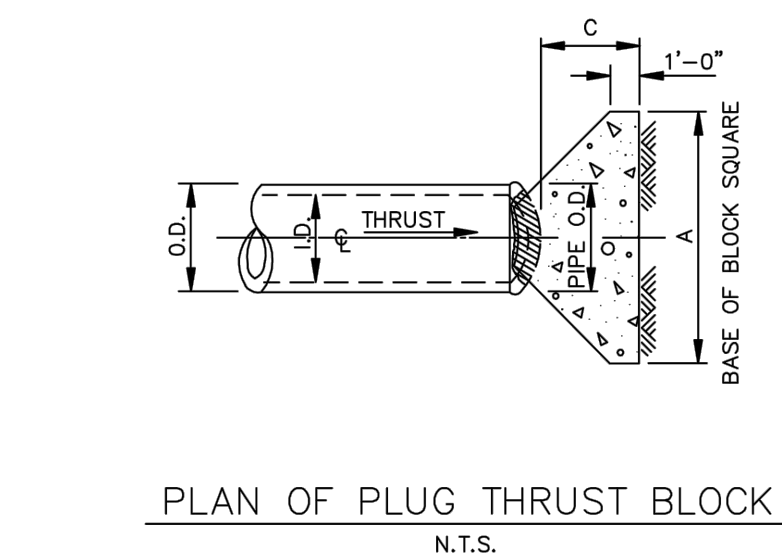
REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.

**GENERAL NOTES FOR ALL THRUST BLOCKS:**

- CONCRETE FOR BLOCKING SHALL BE CLASS "B".
- ALL CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 PSI FOR DUCTILE IRON, P.V.C., AND 150 PSI FOR CONCRETE PIPE.
- VOLUMES OF THRUST BLOCKS ARE NET VOLUMES OF CONCRETE TO BE FURNISHED. THE CORRESPONDING WEIGHT OF THE CONCRETE (CLASS "B") IS EQUAL TO OR GREATER THAN THE VERTICAL COMPONENT OF THE THRUST ON THE VERTICAL BEND.
- WALL THICKNESS (T) ASSUMED HERE FOR ESTIMATING PURPOSES ONLY.
- POUR CONCRETE FOR BLOCK AGAINST UNDISTURBED EARTH.
- DIMENSIONS MAY BE VARIED AS REQUIRED BY FIELD CONDITIONS WHERE AND AS DIRECTED BY THE ENGINEER. THE VOLUME OF CONCRETE BLOCKING SHALL NOT BE LESS THAN SHOWN HERE.
- THE SOIL BEARING PRESSURES ARE BASED ON 1000 LBS./S.F. IN SOIL AND 2000 LBS./S.F. IN ROCK.
- USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE AND BEND, TEE, OR PLUG TO PREVENT THE CONCRETE FROM STICKING TO IT.
- CONCRETE SHALL NOT EXTEND BEYOND JOINTS.

**THRUST BLOCK  
GENERAL NOTES**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 502.4
DATE OCT. '04	STANDARD DRAWING NO. 4040



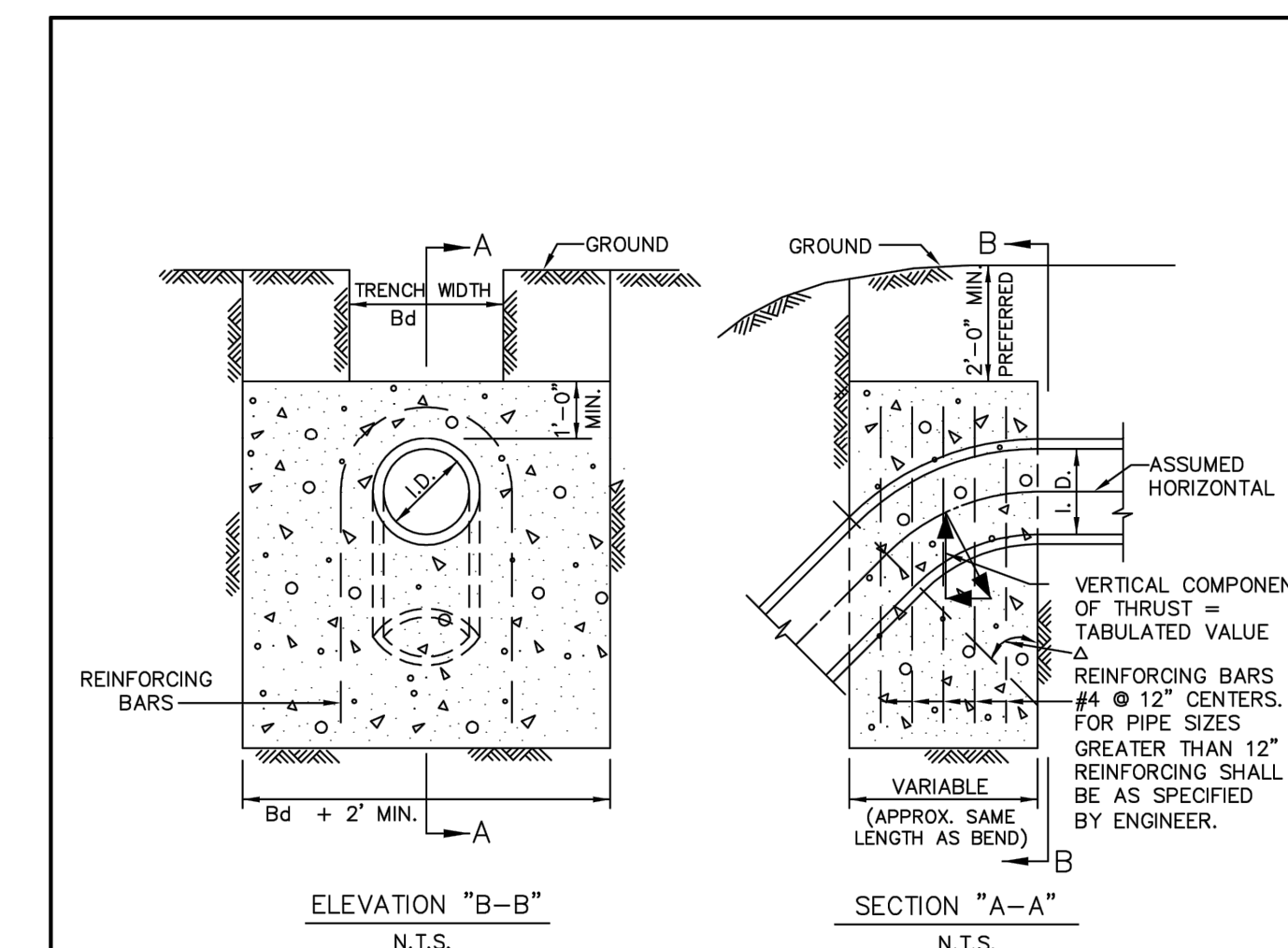
REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.

**PLAN OF TEE THRUST BLOCK**  
N.T.S.

I.D. (IN.)	THRUST (TONS)	EARTH				ROCK			
		C (FT.)	A (FT.)	VOL. (CY)	WGT. (KIP)	C (FT.)	A (FT.)	VOL. (CY)	WGT. (KIP)
10.12	11.3	1.5	3.5	0.6	2.5	0.3			
16.18	25.5	2.0	5.5	1.6	4.0	0.9			
20	31.5	2.0	6.0	1.9	4.0	0.9			
24	45.2	2.5	7.0	3.1	5.0	1.7			
30	53.0	3.0	7.5	4.1	5.5	2.4			
36	76.3	4.0	9.0	7.3	6.5	4.2			
42	104.0	4.5	10.5	11.0	7.5	6.2			
48	136.0	5.0	12.0	15.6	8.5	8.7			
54	172.0	5.5	13.5	21.4	9.5	11.9			
60	212.0	6.0	15.0	28.4	10.5	15.7			
66	257.0	6.5	16.5	36.8	11.5	20.5			
72	305.0	7.5	17.5	47.2	12.5	27.2			
78	358.0	8.0	19.0	58.9	13.5	33.7			
84	416.0	8.5	20.5	72.3	14.5	41.2			
90	477.0	9.0	22.0	87.7	15.5	49.7			
96	543.0	9.5	23.5	104.8	16.5	61.0			

**HORIZONTAL THRUST BLOCK  
AT TEES AND PLUGS**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 502.4
DATE OCT. '04	STANDARD DRAWING NO. 4020



REFER TO STD. DWG. No. 4040 FOR GENERAL NOTES.

**VERTICAL THRUST BLOCK  
AT PIPE BEND**

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 502.4
DATE OCT. '04	STANDARD DRAWING NO. 4030

Δ	11.25°	22.50°	30°	45°	67.50°	90°	Δ						
I.D. (IN.)	THRUST (TONS)	THRUST (TONS)	THRUST (TONS)	THRUST (TONS)	THRUST (TONS)	THRUST (TONS)	I.D. (IN.)						
4.6,8	1.0	0.5	2.0	1.0	2.5	1.3	3.6	1.8	4.6	2.3	5.0	2.5	4.6,8
10.12	2.2	1.1	4.3	2.2	5.7	2.8	8.0	4.0	10.5	5.2	11.3	5.7	10.12
16.18	5.0	2.5	9.7	4.9	12.7	6.4	18.0	9.0	23.5	11.8	25.5	12.7	16.18
20	6.1	3.1	12.0	6.0	15.7	7.9	22.2	11.1	29.2	14.5	31.4	15.7	20
24	8.2	4.4	17.3	8.7	22.6	11.3	32.0	16.0	41.8	20.9	45.2	22.6	24
30	10.5	5.2	20.3	10.1	26.5	13.3	37.5	18.8	49.0	24.5	53.1	26.5	30
36	14.9	7.5	29.2	14.6	38.2	19.1	54.0	27.0	70.5	35.3	76.4	38.2	36
42	20.3	10.1	39.8	19.9	52.0	26.0	73.5	36.7	96.0	48.0	104.0	52.0	42
48	26.5	13.2	51.9	26.0	67.9	33.9	96.0	48.0	126.0	62.7	136.0	67.9	48
54	33.5	16.8	65.7	32.9	85.9	42.9	122.0	60.7	159.0	78.4	172.0	85.9	54
60	41.4	20.7	81.2	40.6	106.0	53.0	150.0	75.0	196.0	98.0	212.0	106.0	60
66	50.1	25.0	98.2	49.1	128.0	64.2	182.0	90.7	237.0	119.0	257.0	128.0	66
72	59.6	29.8	117.0	58.4	153.0	76.3	216.0	108.0	282.0	141.0	305.0	153.0	72
78	69.9	35.0	137.0	68.6	179.0	90.0	254.0	127.0	331.0	166.0	358.0	179.0	78
84	81.1	40.5	159.0	79.5	208.0	104.0	294.0	147.0	384.0	192.0	416.0	208.0	84
90	93.1	46.5	183.0	91.3	239.0	119.0	337.0	169.0	441.0	221.0	477.0	239.0	90
96	106.0	53.0	208.0	104.0	272.0	136.0	384.0	192.0	502.0	251.0	543.0	272.0	96

**DETAIL SHEET- 1**



**PRELIMINARY  
FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*  
NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

Project	Sheet
Date 04 / 14 / 2023	14
Scale	16

DETAIL SHEET- 2



PRELIMINARY FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

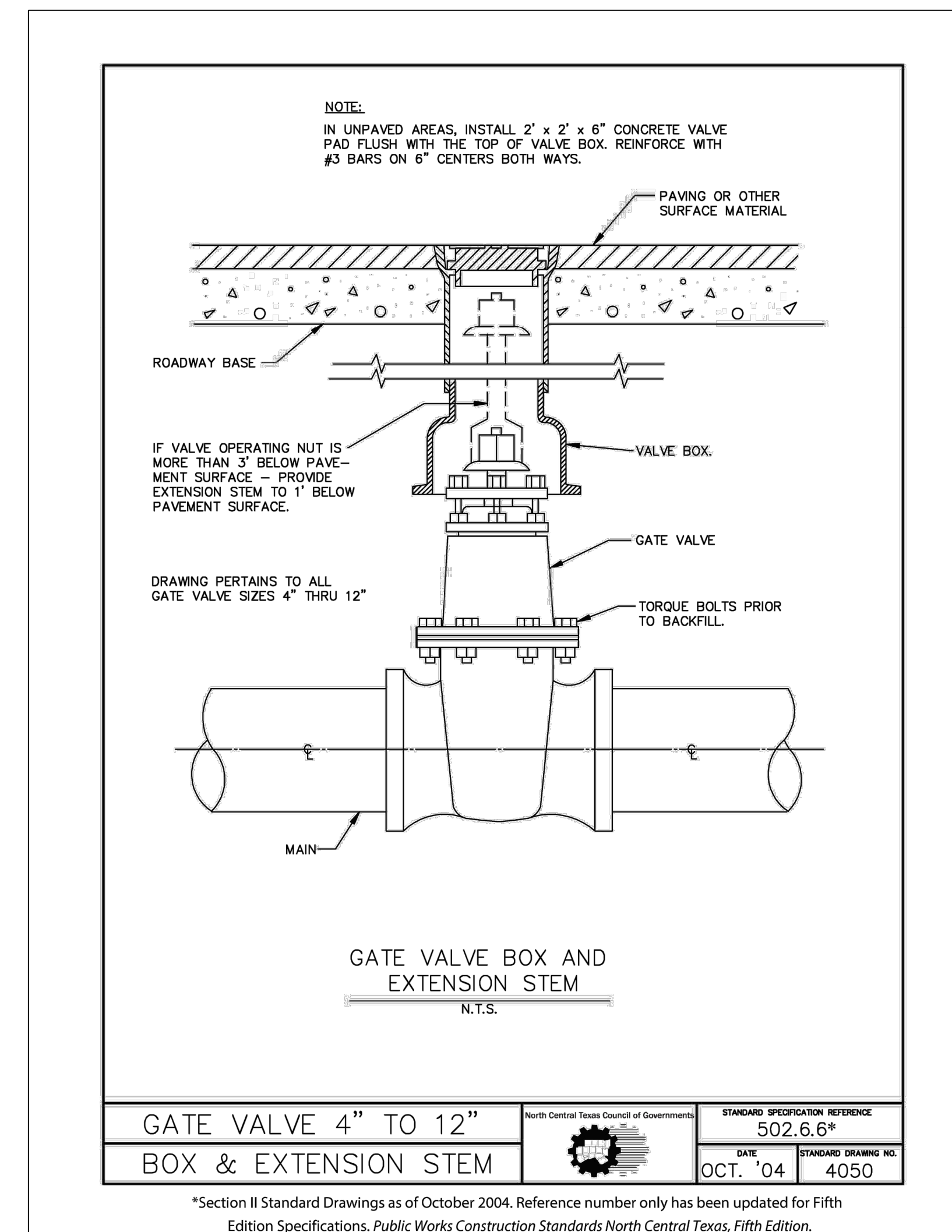
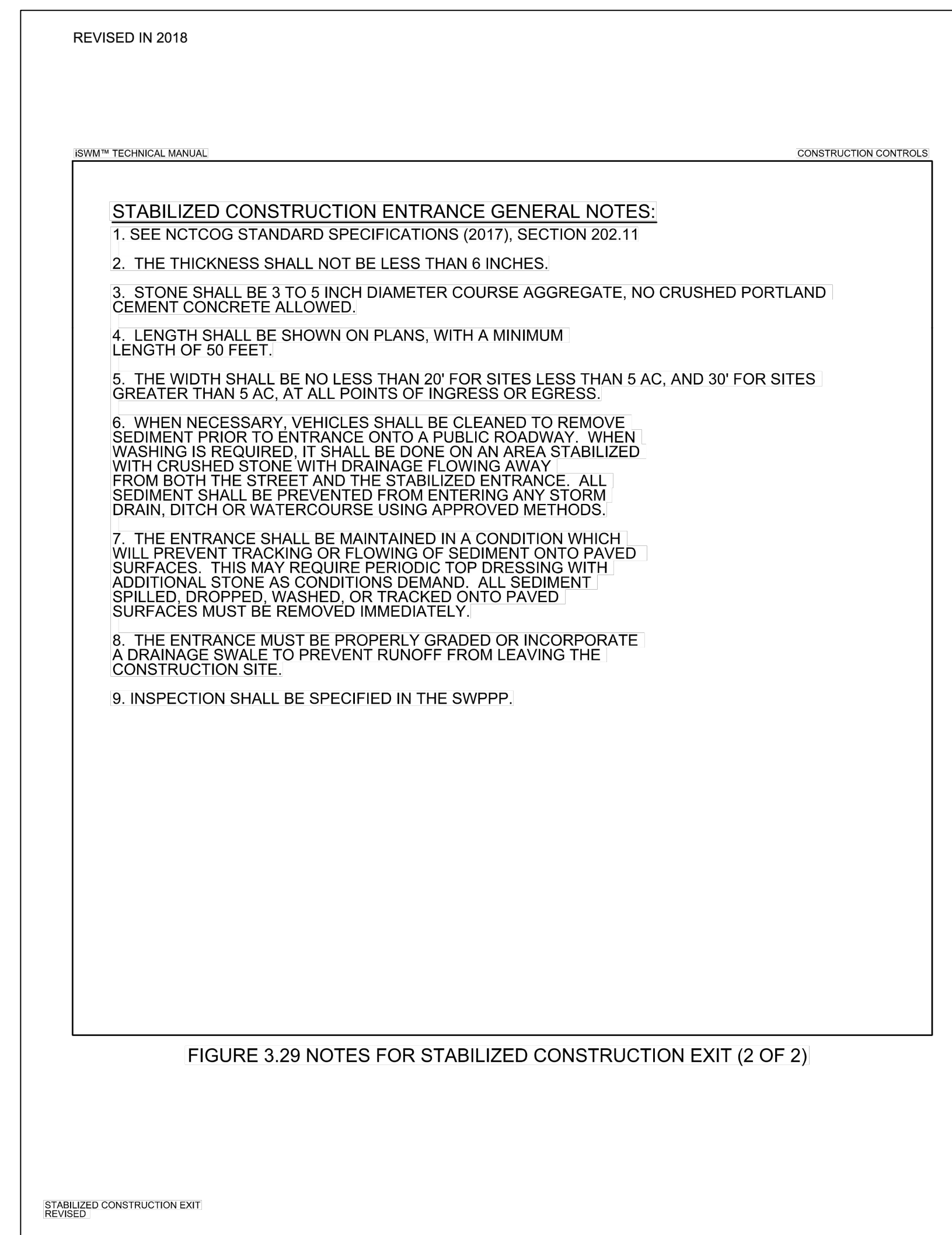
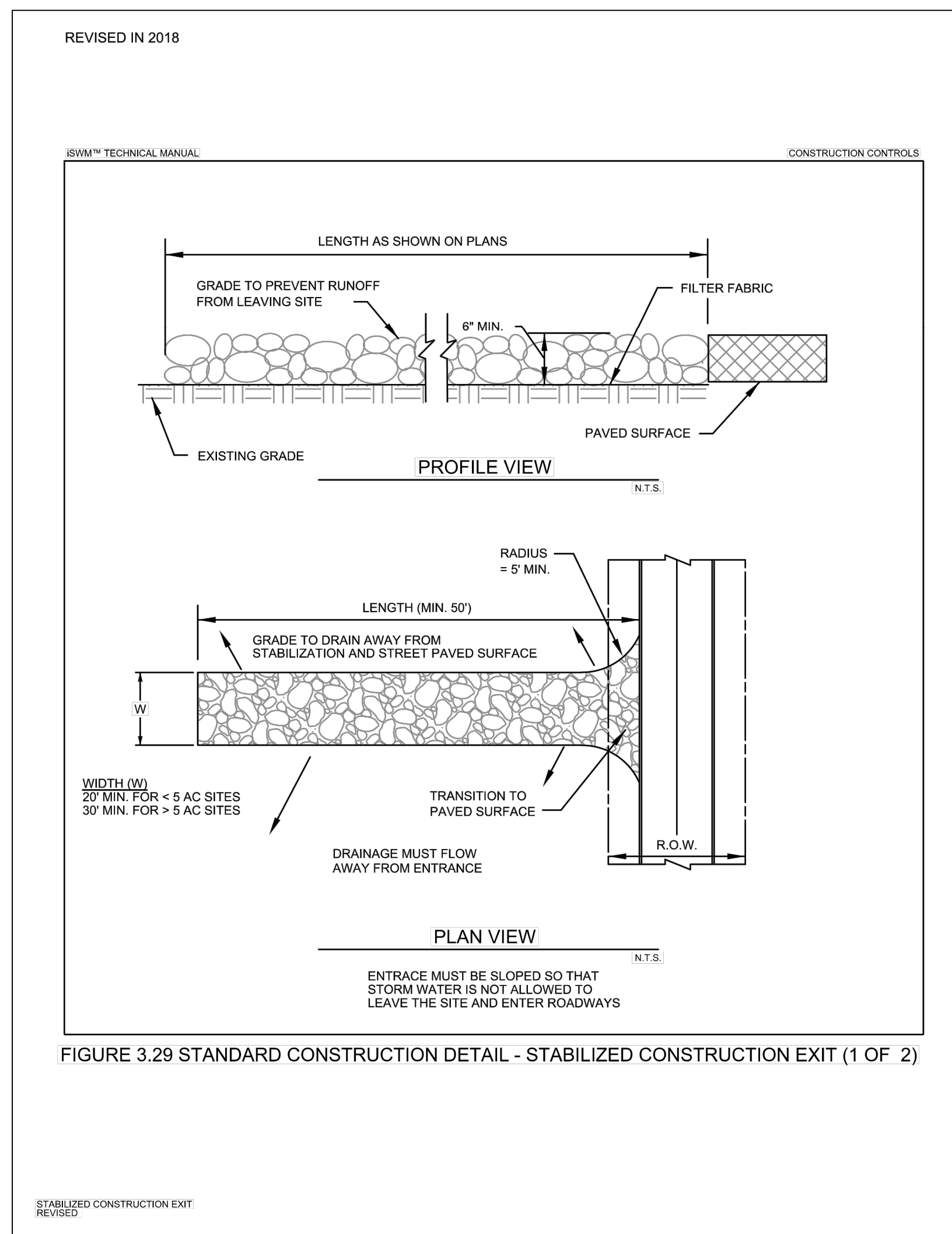
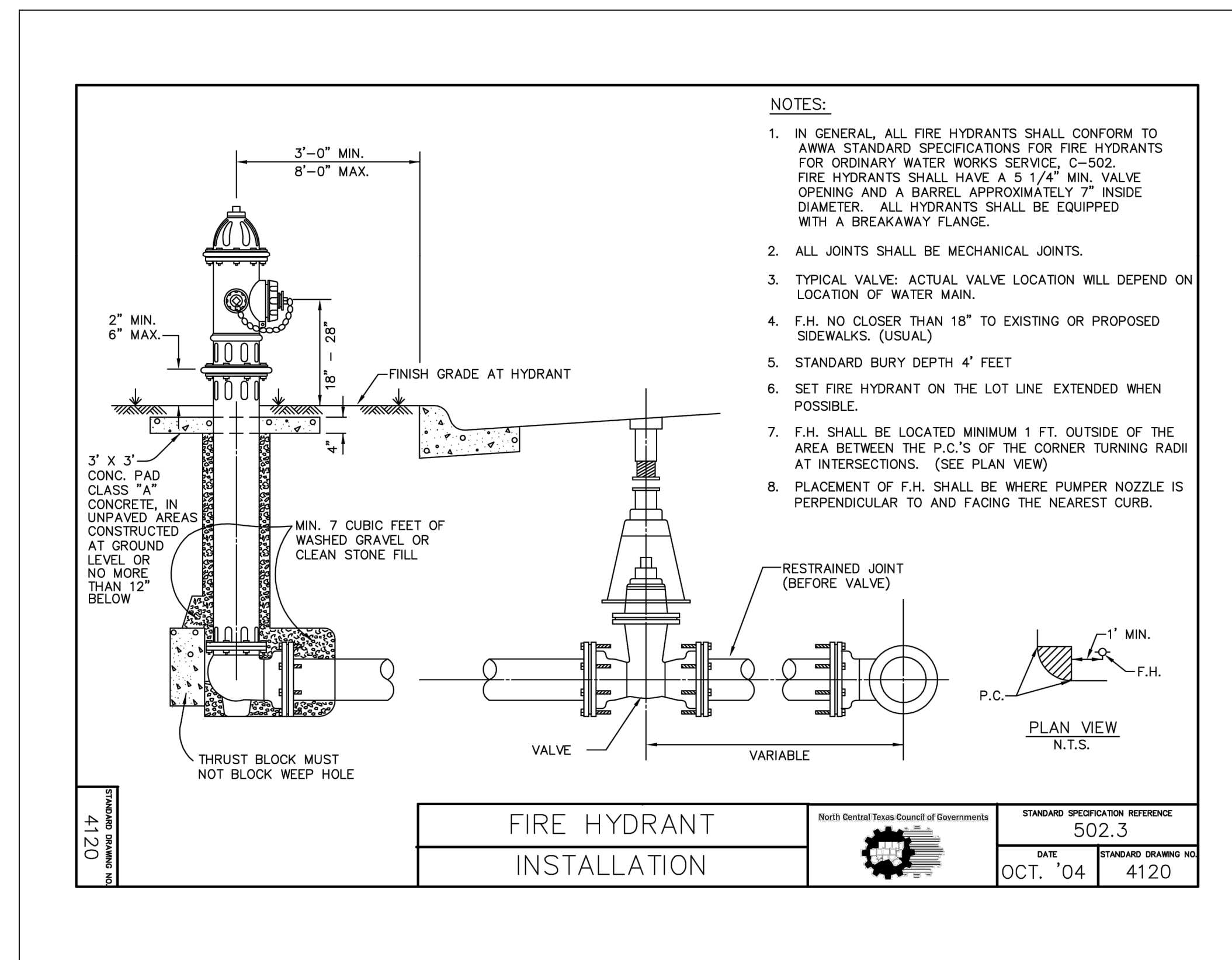
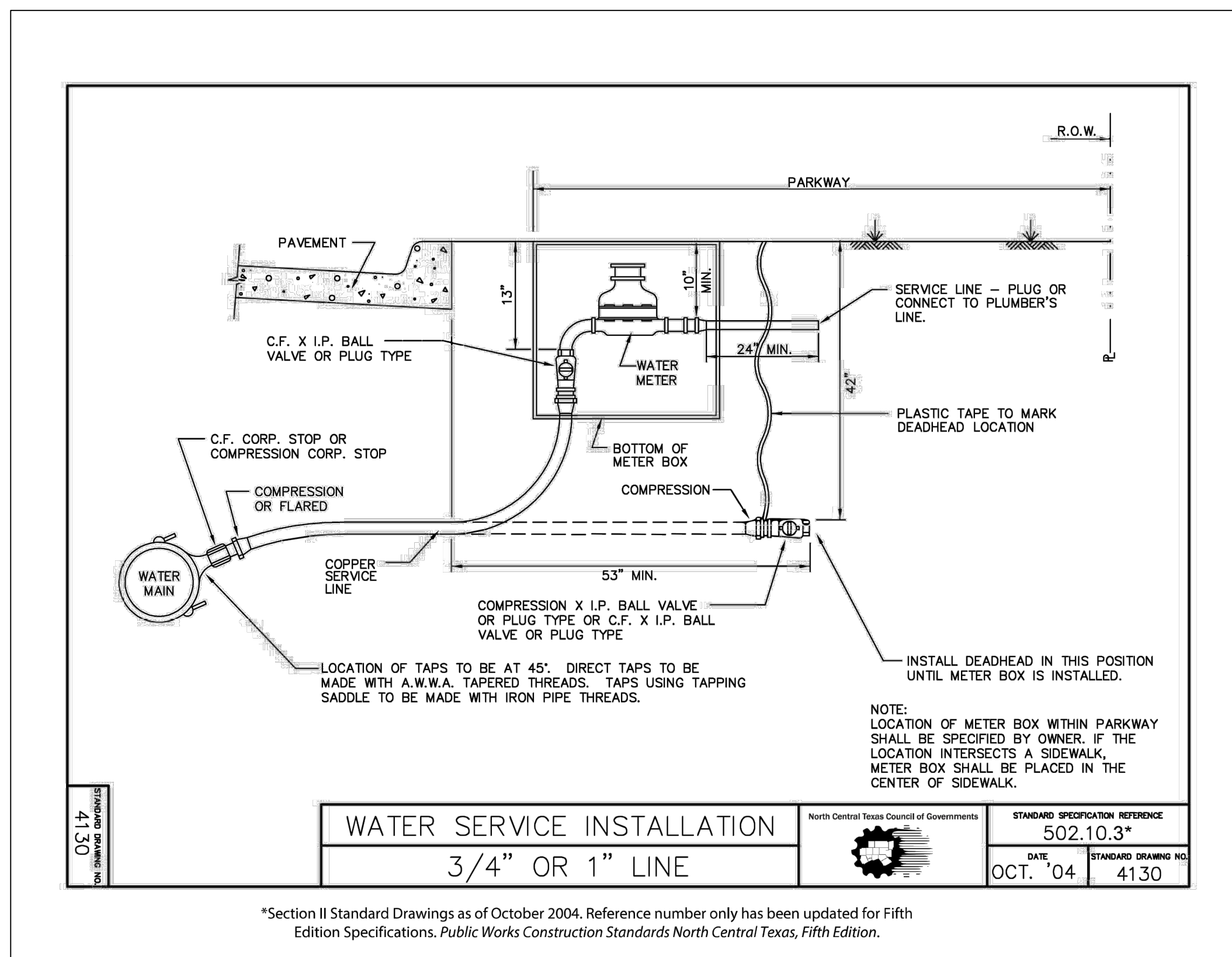
NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

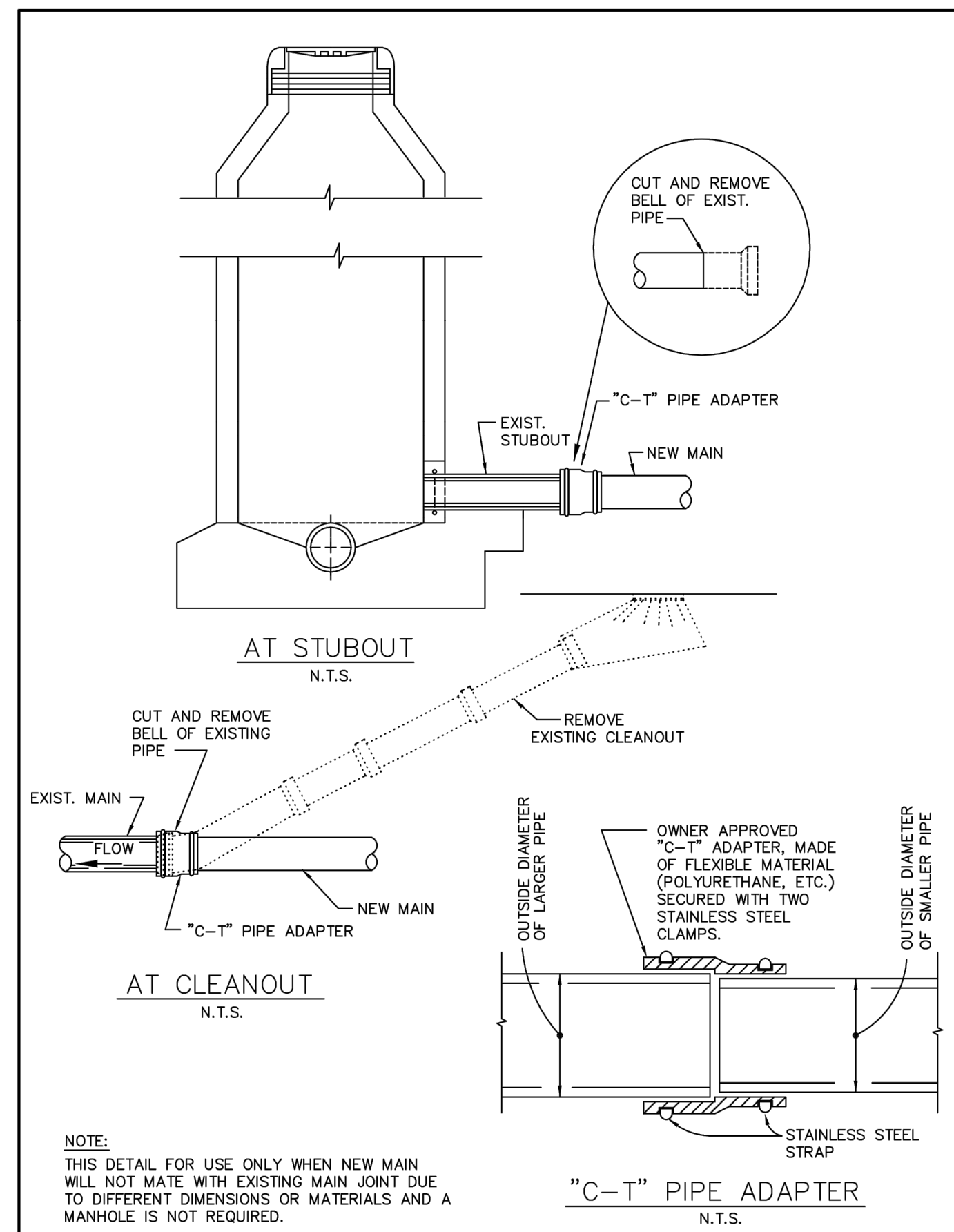
Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

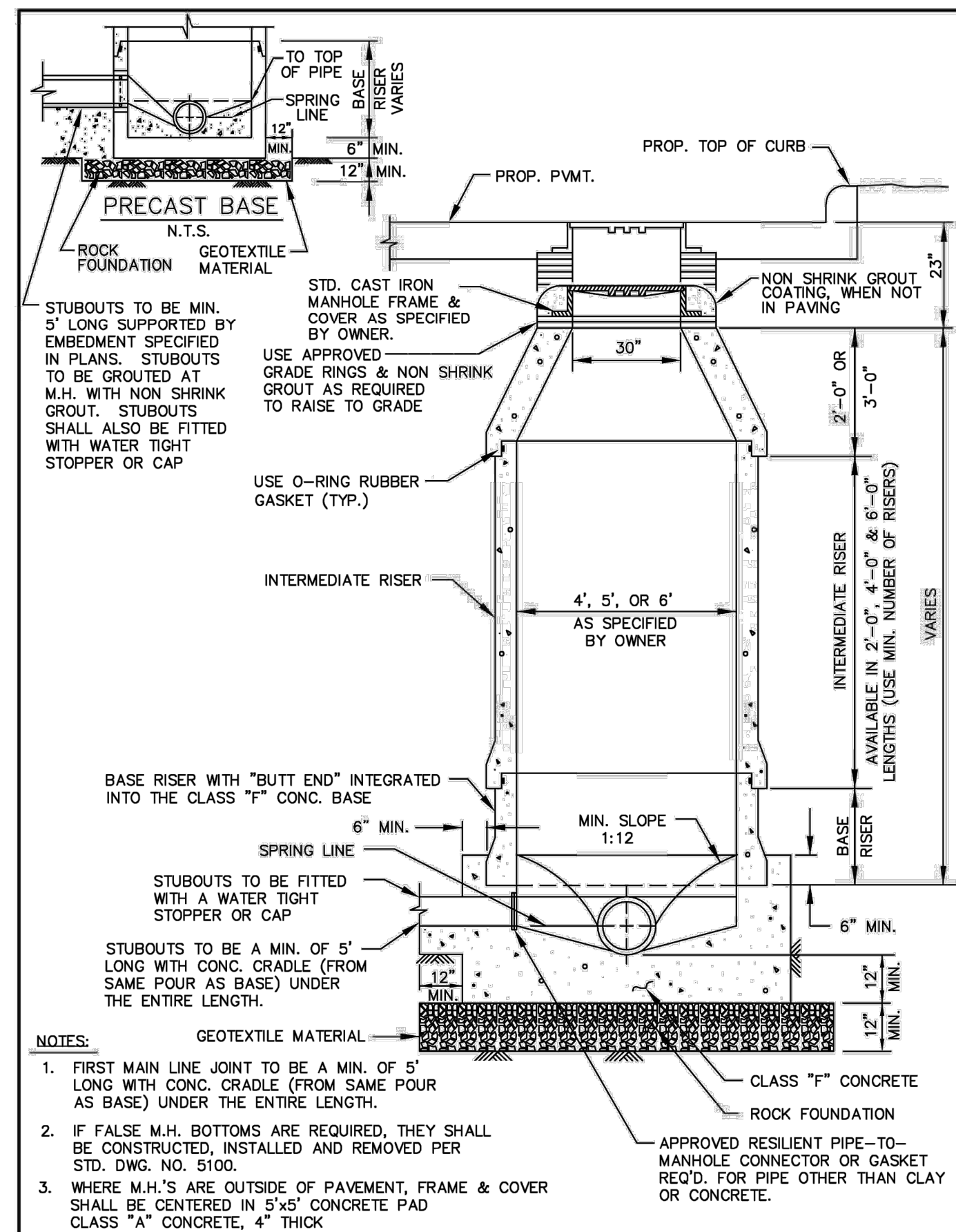
Project	Sheet
Date 04 / 14 / 2023	15
Scale	16



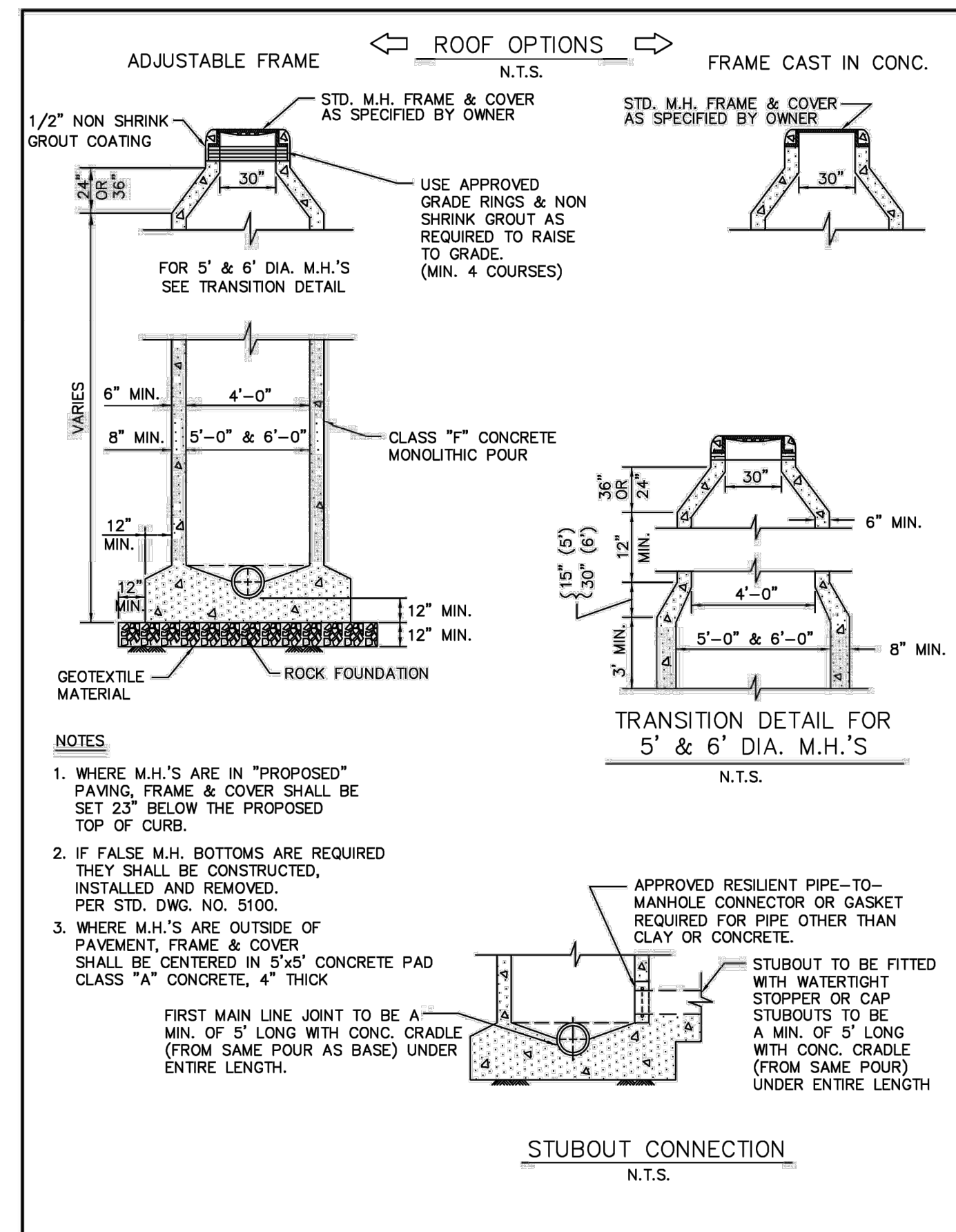
PATH: C:\Users\Admin\OneDrive\Documents\2021 DWG\Joseph\DRAWINGS\14,15,16 - DETAIL SHEET-2



WASTEWATER MAIN TIE-IN AT CLEANOUT OR M.H. STUBOUT	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		502.10
	DATE	STANDARD DRAWING NO.
	OCT. '04	5010



WASTEWATER MANHOLE PRECAST	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		502.1.4.12*
	DATE	STANDARD DRAWING NO.
	OCT. '04	5020



WASTEWATER MANHOLE CAST-IN-PLACE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		502.1.4.1.1*
	DATE	STANDARD DRAWING NO.
	OCT. '04	5030

DETAIL SHEET- 3



PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Hansen*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 04/14/2023  
TBPE FIRM #F22283

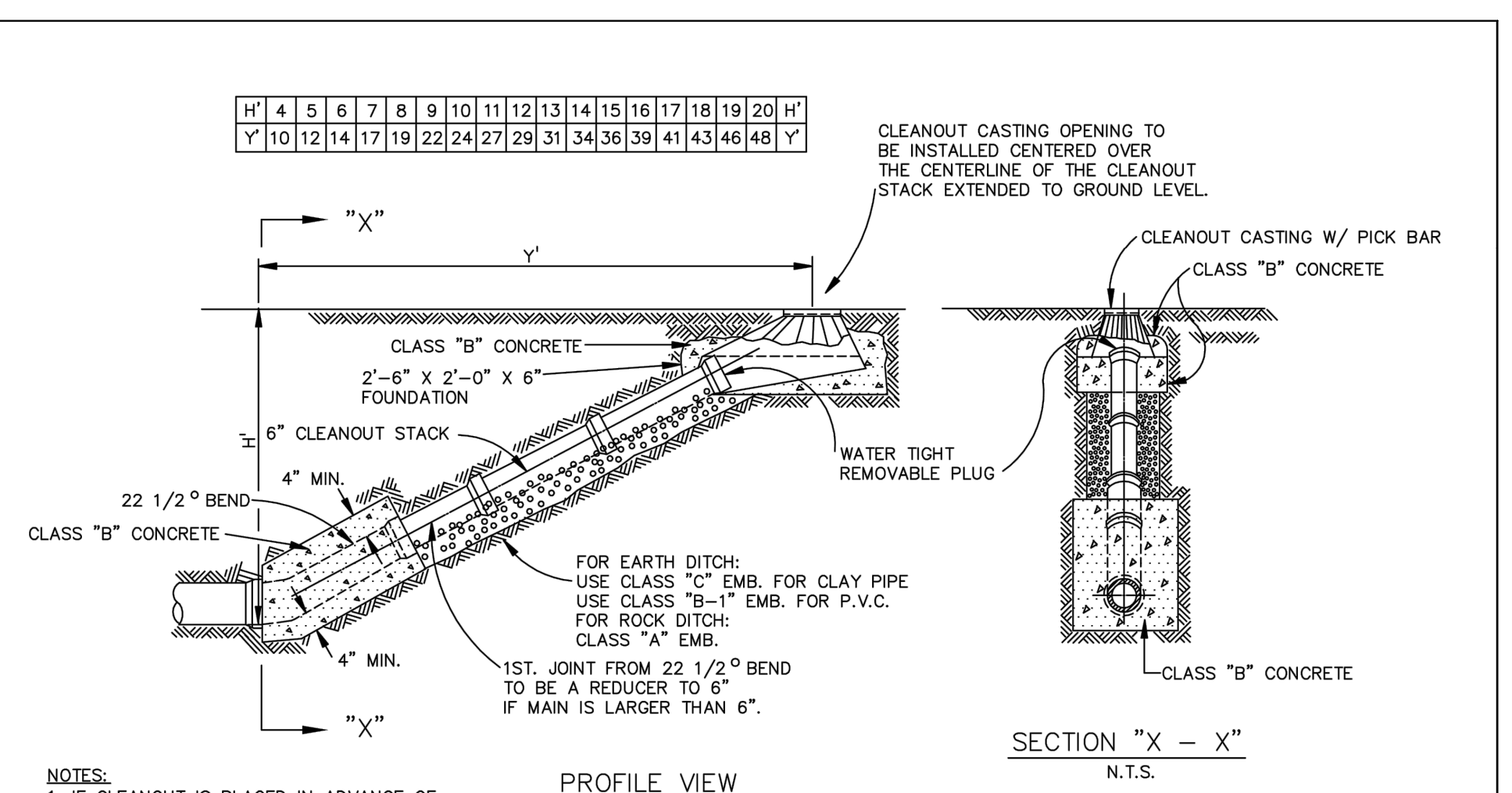
NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

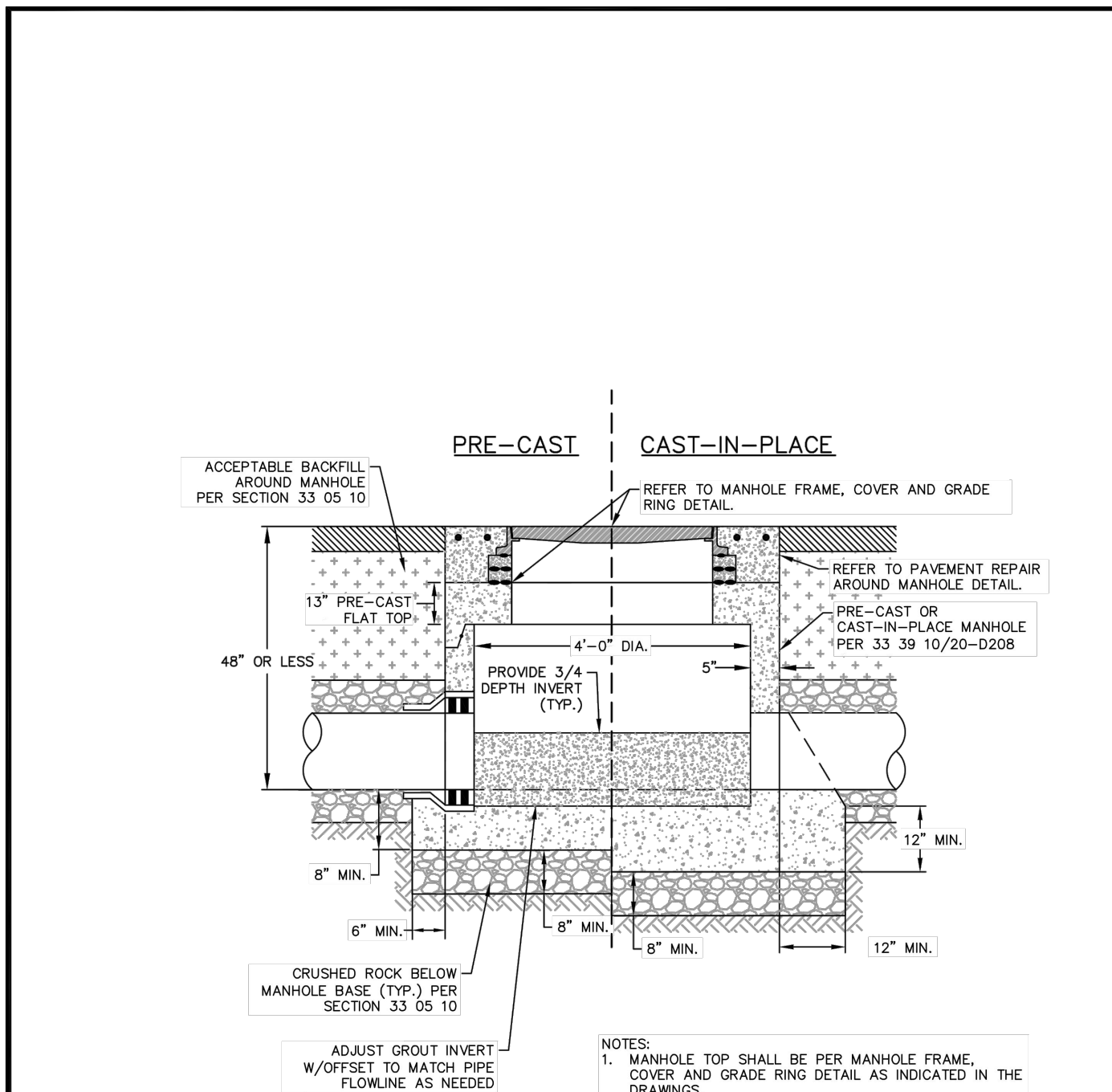
Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkccivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
**ELEANOR ESTATES**  
DALWORTHINGTON GARDENS,  
TEXAS

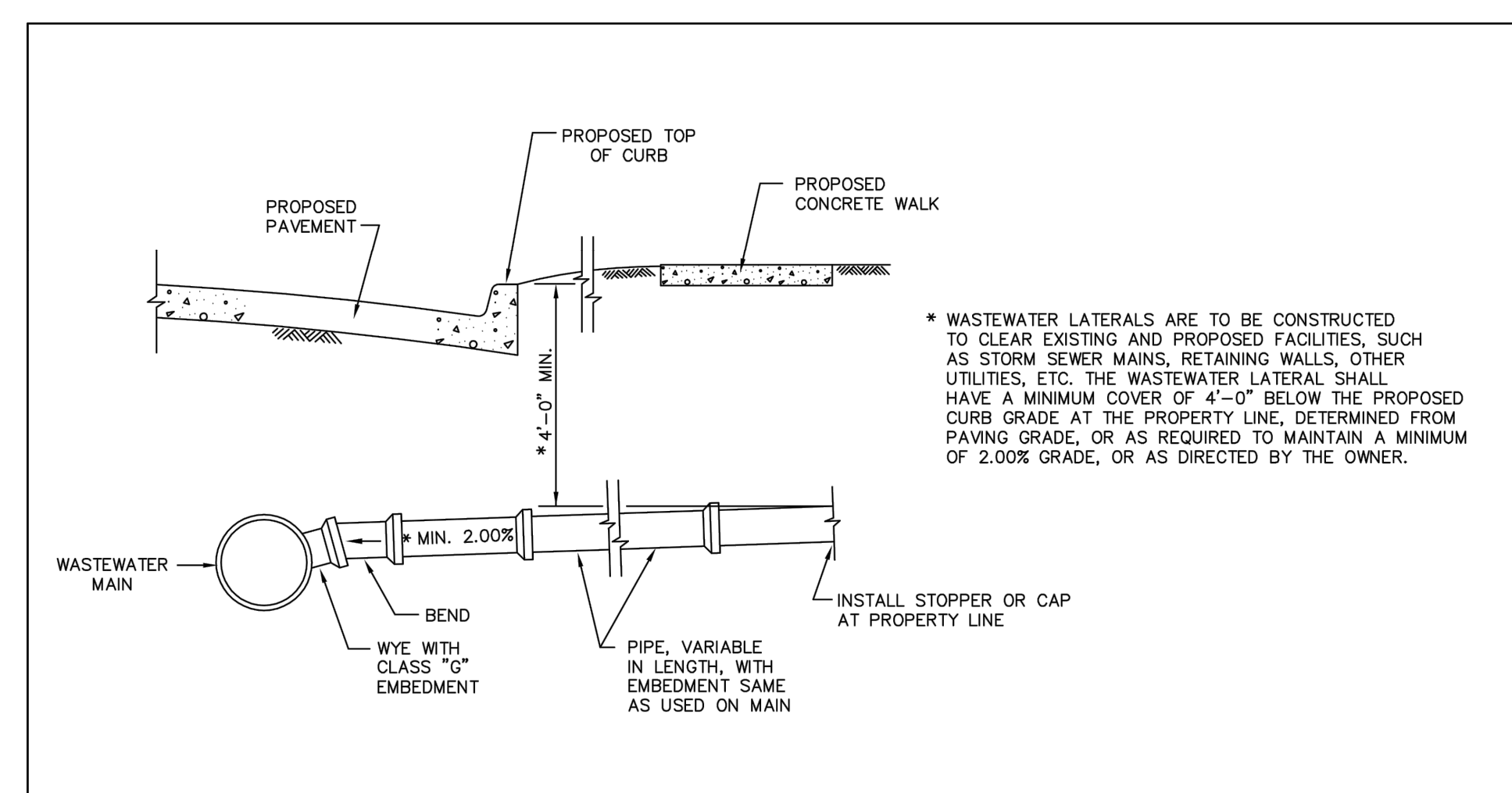
Project	Sheet
Date 04 / 14 / 2023	16
Scale	16



WASTEWATER MAIN CLEANOUT	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		502.2
	DATE	STANDARD DRAWING NO.
	OCT. '04	5110



SHALLOW SANITARY SEWER MANHOLE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		33 39
	DATE	STANDARD DRAWING NO.
	10/20-D210	



WASTEWATER LATERAL STUBOUT IN ADVANCE OF PAVING	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		502.10
	DATE	STANDARD DRAWING NO.
	OCT. '04	5150