



CITY OF DALWORTHINGTON GARDENS

**NOTICE OF A MEETING
CITY COUNCIL**

AUGUST 18, 2022

**WORK SESSION AT 6:00 P.M.
REGULAR SESSION AT 7:00 P.M.**

CITY HALL COUNCIL CHAMBERS, 2600 ROOSEVELT DRIVE, DALWORTHINGTON GARDENS, TEXAS

WORK SESSION – 6:00 P.M.

1. CALL TO ORDER

2. WORK SESSION

- a. Receive development presentation from Trevor Turnbow for property located at 2500 and 2512 California Lane, Dalworthington Gardens.
- b. Receive development presentation from Trevor Turnbow for property located at 2807 Spanish Trail, Dalworthington Gardens.
- c. Remaining agenda items, if time permits.

REGULAR SESSION – 7:00 P.M.

1. CALL TO ORDER

2. INVOCATION

3. PLEDGES OF ALLEGIANCE

- a. U.S. Pledge
- b. Texas Pledge - *“Honor the Texas Flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.”*

4. ITEMS OF COMMUNITY INTEREST

- a. Concert in the Park, September 24, 2022
- b. National Night Out, October 4, 2022
- c. Movie in the Park, October 8, 2022

5. CITIZEN COMMENTS

Citizens who wish to speak to the City Council will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and City Council members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.

6. MAYOR AND COUNCIL COMMENTS

Pursuant to Texas Government Code § 551.0415, City Council Members and City staff may make a report about items of community interest during a meeting of the governing body without having given notice of the subject of the report. Items of community interest include:

- Expressions of thanks, congratulations, or condolence;
- Information regarding holiday schedules;
- An honorary or salutory recognition of a public official, public employee, or other citizen, except that a discussion regarding a change in the status of a person's public office or public employment is not an honorary or salutory recognition for purposes of this subdivision;
- A reminder about an upcoming event organized or sponsored by the governing body;
- Information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; and
- Announcements involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

7. DEPARTMENTAL REPORTS

- a. DPS Report
- b. Financial Reports
- c. City Administrator Report
- d. Public Works Report

8. CONSENT AGENDA

- a. Presentation and acknowledgment of budget adjustments.
- b. Approval of Ordinance No. 2022-18 approving budget amendments for FY 2021-2022.
- c. Approval of Resolution No. 2022-13 approving various changes to the City Fee Schedule.
- d. Approval of Resolution No. 2022-14 approving various board appointments.
- e. Approval of Resolution No. 2022-15 approving a negotiated settlement between the Atmos Cities Steering Committee (“ACSC”) and Atmos Energy Corp., Mid-Tex Division regarding the company’s 2022 rate review mechanism filing; declaring existing rates to be unreasonable; adopting tariffs that reflect rate adjustments consistent with the negotiated settlement; finding the rates to be set by the attached settlement tariffs to be just and reasonable and in the public interest; approving an attachment establishing a benchmark for pensions and retiree medical benefits; requiring the company to reimburse ACSC’s reasonable ratemaking expenses.
- f. Ratification of expense for emergency water line repair on Oak Trail Court in the amount of \$11,150.00. Expense was reimbursed from contractor who caused damage.
- g. Approval of June 2, 2022 special meeting minutes.
- h. Approval of June 16, 2022 regular meeting minutes.
- i. Approval of the July 12, 2022 special meeting minutes.

9. REGULAR AGENDA

- a. Discussion and possible action regarding a capital improvement plan for city infrastructure.
- b. FY 2022-2023 Proposed City Budget: Any necessary discussion or action on changes to the proposed budget only. Official public hearing and budget adoption will take place at the September 15, 2022 Council Meeting.
- c. Discussion and possible action on setting the maximum proposed ad valorem tax rate; setting date for a public hearing on the proposed tax rate; and setting the date at which City Council will adopt the FY 2022-2023 ad valorem tax rate.
- d. Discussion and possible action to approve the purchase of 15 tasers in the amount of \$53,994.64 for DWG DPS.

- e. Discussion and possible action to commit funds by Ordinance No. 2022-19 for specific purposes designated by City Council in accordance with the city’s Comprehensive Financial Policy.
- f. Discussion and possible action to approve costs in the amount of \$1,000 for a traffic control plan for Elkins Drive.
- g. Discussion and possible action to direct staff on changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 6, Health and Sanitation, to add a distance requirement for smoking near buildings.
- h. Discussion and possible action to direct staff on changes to the City of Dalworthington Gardens Code of Ordinances, Chapter 14, regarding regulations for mobile food units and mobile food establishments, commonly known as food trucks.
- i. Discussion and possible action to direct staff on any changes to the Republic Services contract for garbage and recycling services.
- j. Discussion and possible action to direct staff on a change to the Personnel Policy regarding defining city holidays as hours worked.
- k. Discussion and possible action regarding amendments to the FY 2021-2022 budget in amounts not to exceed \$10,000.00.

10. TABLED ITEMS

- a. Discussion and possible action regarding consideration of bond requirements for oil and gas drilling.

11. FUTURE AGENDA ITEMS

In compliance with the Texas Open Meetings Act, Council Members may request that matters of public concern be placed on a future agenda. Council Members may not discuss non-agenda items among themselves. In compliance with the Texas Open Meetings Act, city staff members may respond to questions from Council members only with statements of factual information or existing city policy.

12. EXECUTIVE SESSION

- a. Recess into Executive Session pursuant to Government Code, Section 551.071, consultation with city attorney, regarding the City Boundary.
- b. Reconvene into Regular Session for discussion and possible action regarding the City Boundary.

13. ADJOURN

The City Council reserves the right to adjourn into closed session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.087 (Economic Development Negotiations).

Pursuant to Texas Government Code, Section 551.127, on a regular, non-emergency basis, members may attend and participate in the meeting remotely by video conference. Should that occur, a quorum of the members will be physically present at the location noted above on this agenda.

CERTIFICATION

This is to certify that a copy of the **August 18, 2022** City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City’s website, www.cityofdwg.net, in compliance with Chapter 551, Texas Government Code.

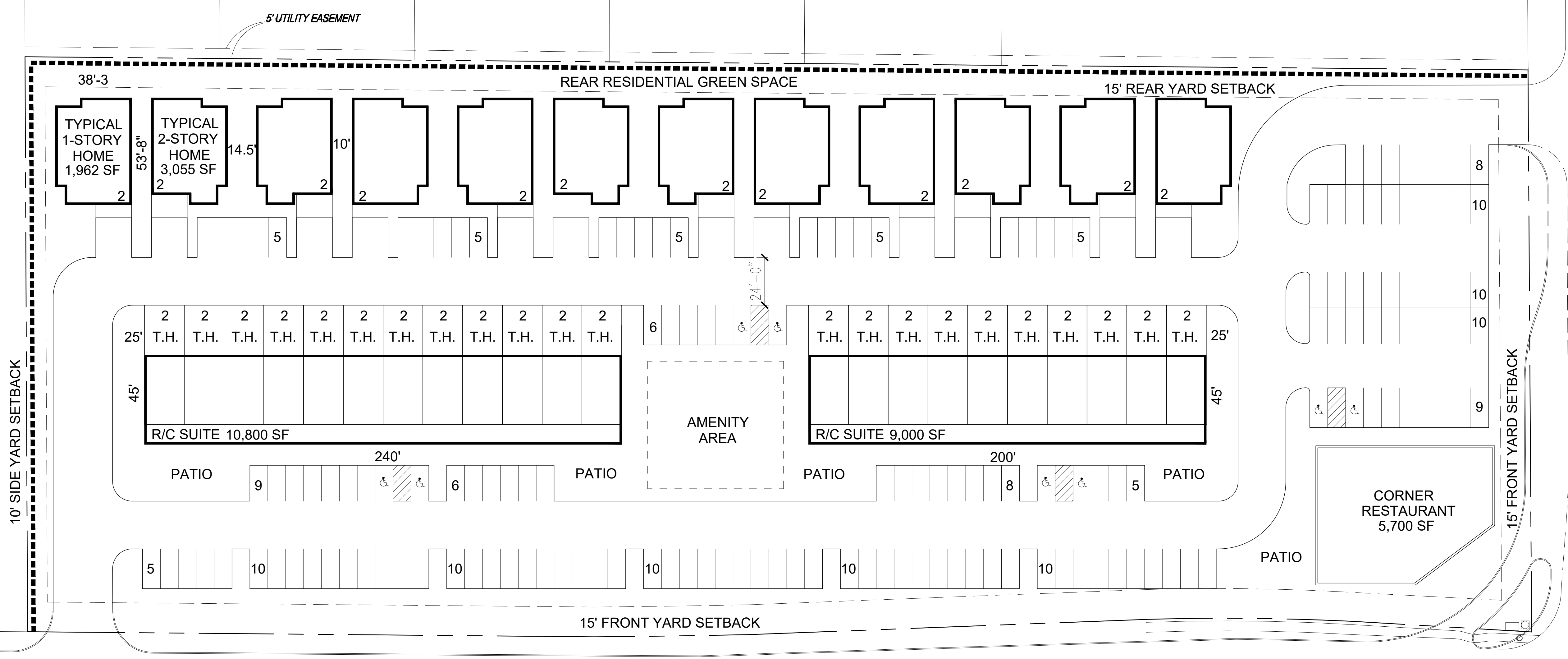
DATE OF POSTING: _____ TIME OF POSTING: _____ TAKEN DOWN: _____

Lola Hazel, City Administrator

T.J. WILLIAMS SUBDIVISION
V. 388-29, P. 213, P.R.T.C.T.
EXIST. LAND USE RESIDENTIAL

CALIFORNIA LANE

LOT 5A, BLK. 4
DALWORTHINGTON GARDENS ADDITION
V. 388-123, P.29, P.R.T.C.T.
EXIST. LAND USE VACANT



BOWEN

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REVISIONS:

ZONING INFORMATION	
LOCATION:	LOTS 4 & 4A DALWORTHINGTON GARDENS ADDITION (S. BOWEN RD. & CALIFORNIA LN.)
CITY:	DALWORTHINGTON GARDENS, TX
COUNTY:	TARRANT
PROPERTY SIZE:	4.793 ACRES (1,010,984 S.F.)
LAND USE:	NONE (UNDEVELOPED LAND)
CURRENT ZONING:	SF-1 (SINGLE FAMILY)
PROPOSED ZONING:	MIXED USE OVERLAY DISTRICT - SINGLE FAMILY - RESTAURANT - RETAIL - OFFICE

BASE ZONING STANDARDS		
SINGLE FAMILY:	RESIDENTIAL	NON-RESIDENTIAL
MIN. AREA	= 1 ACRE	= NONE
MIN. LIVING	= 1,250 SF	= NONE
MAX. HEIGHT	= 35'	= 45'
MIN. WIDTH	= 80'	= NONE
MAX. BUILDING	= 25%	= 25%
MAX. IMPERVIOUS COVERAGE	= 40%	= 40%
FRONT YARD	= 50'	= 50'
SIDE INT. YARD	= 25'	= 25'
SIDE EXT. YARD	= 35'	= 35'
REAR YARD	= 25'	= 25'
DBL. FRONTAGE REAR YARD	= 35'	= 35'
LANDSCAPE	= NONE	= 20%

OVERLAY ZONING STANDARDS	
MIXED USE (MU):	
MIN. AREA	= NONE
MIN. LIVING	= NONE
MAX. HEIGHT	= 3 STORIES OR 40'
FRONT YARD	= 15'
SIDE INT. YARD	= 10'
SIDE EXT. YARD	= 10'
REAR YARD	= 15'
12' SIDEWALK W/ MIN. 6' THROUGHWAY ZONE	
LANDSCAPE	= 20%

PARKING ANALYSIS	
RESIDENTIAL	2 COVERED STALLS PER UNIT
NON-RESIDENTIAL	
PERSONAL SERVICE	= 1/200 SF I.F.A.
RETAIL SHOP	= 1/200 SF I.F.A.
DRIVE UP/TAKE OUT	= 1/75 SF I.F.A. & O.F.A. (MIN. 8 SPACES)
DRIVE UP/EAT IN	= 1/50 SF I.F.A. & O.F.A. (MIN. 12 SPACES)
DINE IN ONLY	= 1/100 SF I.F.A. & O.F.A. (MIN. 12 SPACES)
BUSINESS/PRO OFFICE	= 3 + 1/300 SF I.F.A.
HOTEL	= 1 PER UNIT ?
LOADING	
RETAIL/COMMERCIAL	0-25K SF = 1, 25K-84K SF = 2
OFFICE/RESTAURANT	0-150K SF = 1 150K-300K SF = 2
HOTEL	

AREA TABULATIONS			
RETAIL/COMMERCIAL BUILDING			
1 STANDALONE BUILDING RESTAURANT @ 5,700 SF			
SHELL GROUND FLOOR SUITES @ 19,800 SF			
RESIDENTIAL			
ONE STORY HOMES @ 1,962 SF EACH = 6			
TWO STORY HOMES @ 3,055 SF EACH = 12			
2ND/3RD FLOOR TOWNHOUSES @ 2,400 EACH = 22 (+ 500 SF GARAGE)			
PARKING:	RATE	REQUIRED	PROVIDED
RETAIL:	1 PER 200	99	104
RESTAURANT:	1 PER 100	57	57
RESIDENTIAL:	2 PER UNIT	68	68

TRUE 01 PRELIMINARY ARCH. SITE PLAN
SCALE: 1" = 50'-0" ALL DIMENSIONS ARE APPROXIMATE

ISSUE DATE:
03 AUG 2022

PROJECT No.:
22028.100

SHEET TITLE:
PRELIMINARY ARCHITECTURAL SITE PLAN

SHEET No.:
A1.01

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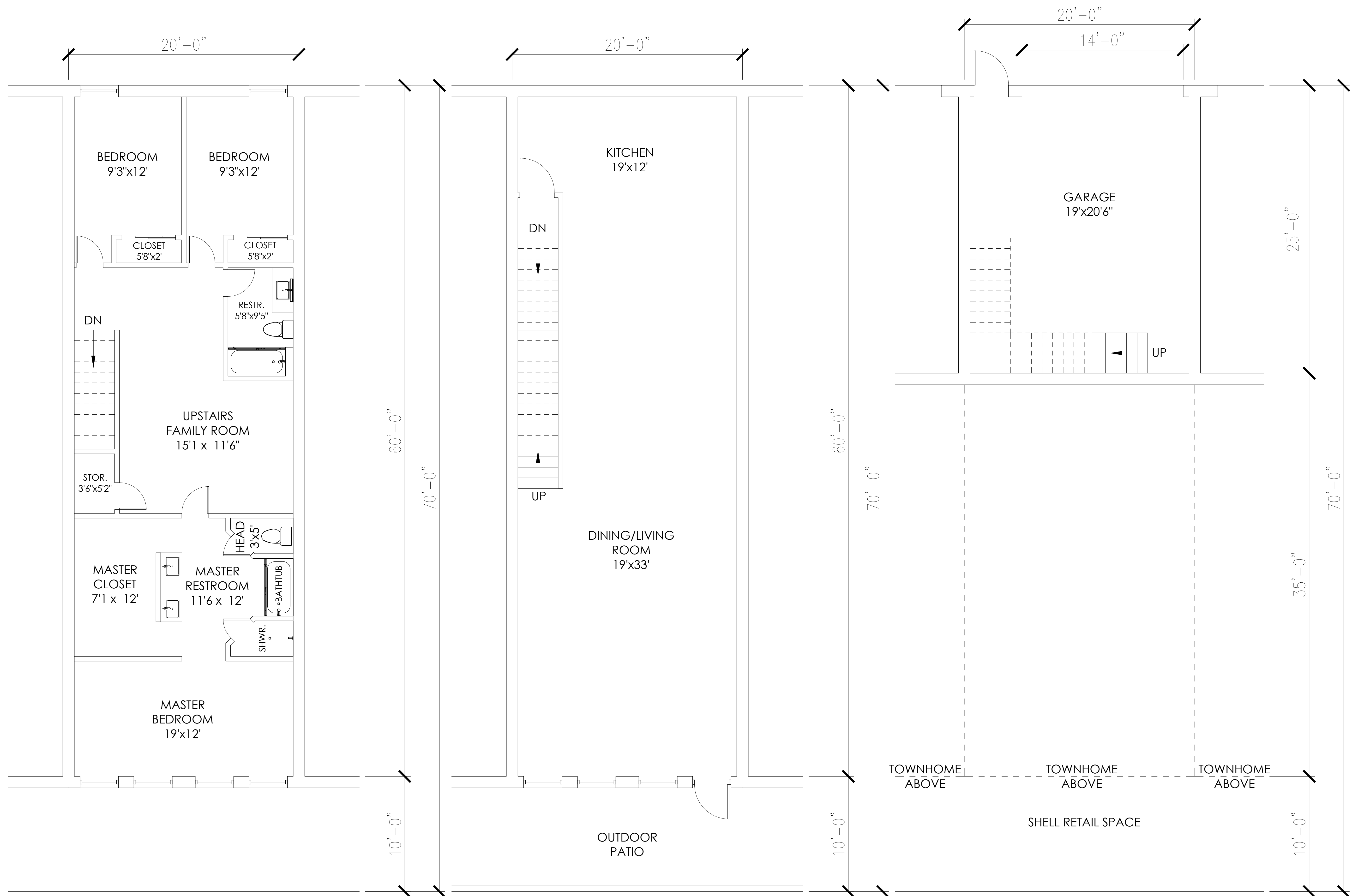
REVISIONS:

ISSUE DATE:
03 AUG 2022

PROJECT No.:
22028.100

SHEET TITLE:
PRELIMINARY TOWNHOME FLOOR PLAN

SHEET No.:
A2.01



TOWNHOME XBED/XBATH
1,865 SF 1ST FLOOR
(TOTAL SF 3,055 SF)

TOWNHOME XBED/XBATH
1,865 SF 1ST FLOOR
(TOTAL SF 3,055 SF)

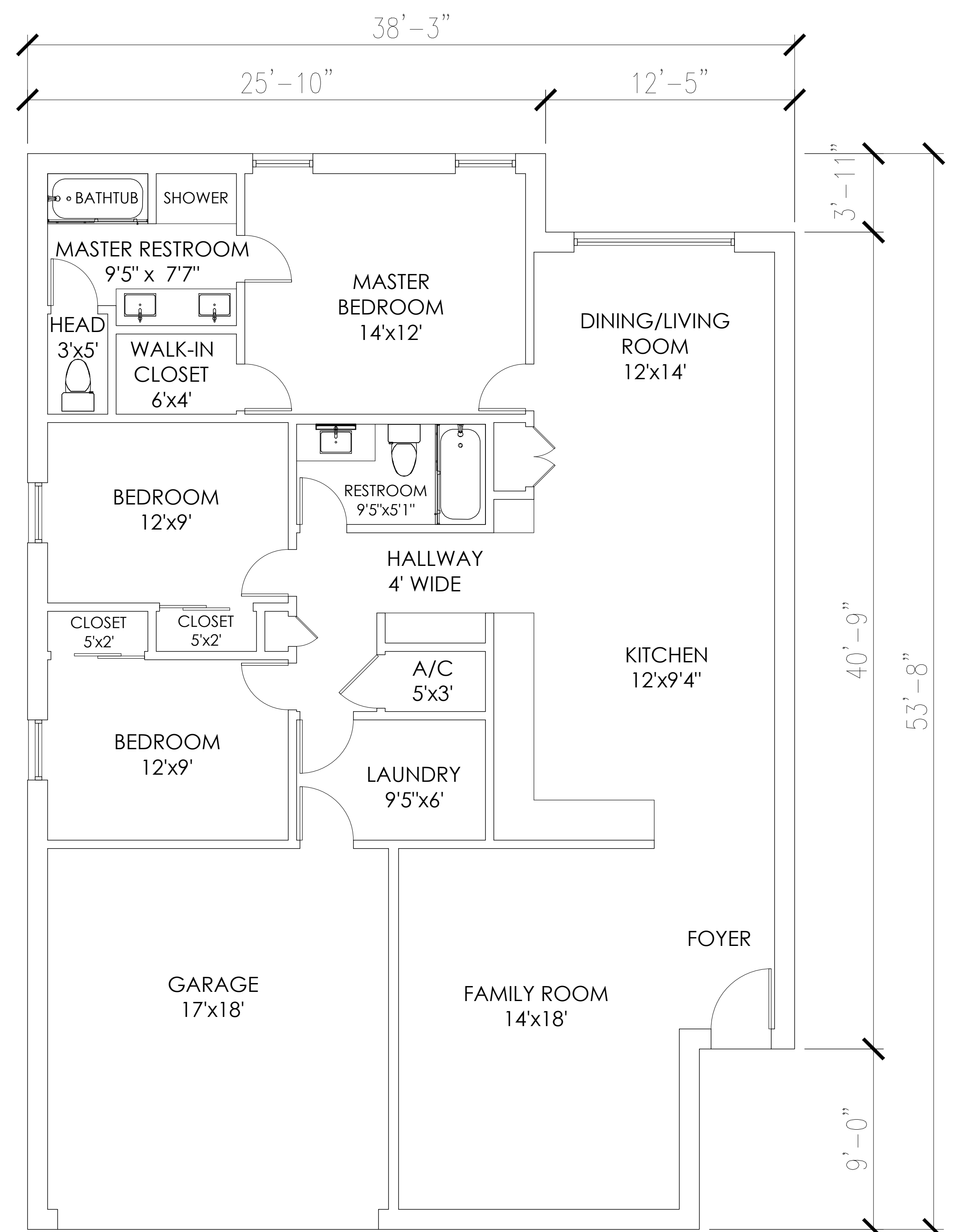
TOWNHOME XBED/XBATH
1,865 SF 1ST FLOOR
(TOTAL SF 3,055 SF)

03 THREE STORY PRELIM.
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

02 THREE STORY PRELIM.
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

01 THREE STORY PRELIM.
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLANNED DEVELOPMENT
DISTRICT FOR MIXED USE
LOT 4 & 4A
DALWORTHINGTON GARDENS, TEXAS 76016



SINGLE FAMILY HOME 3BED/2BATH
(SINGLE STORY 1,962 SF)

01 SINGLE STORY PRELIM.
GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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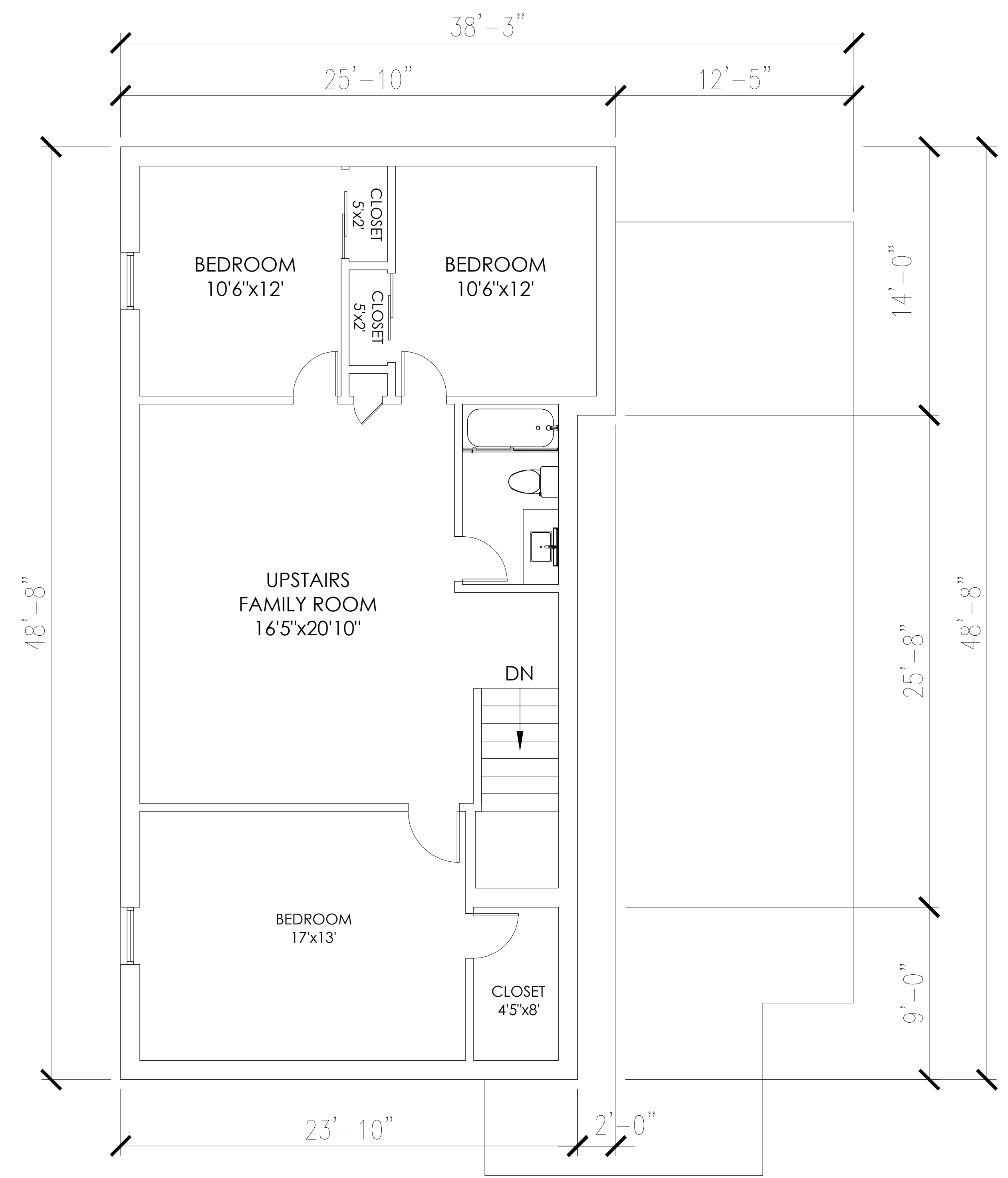
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03 AUG 2022

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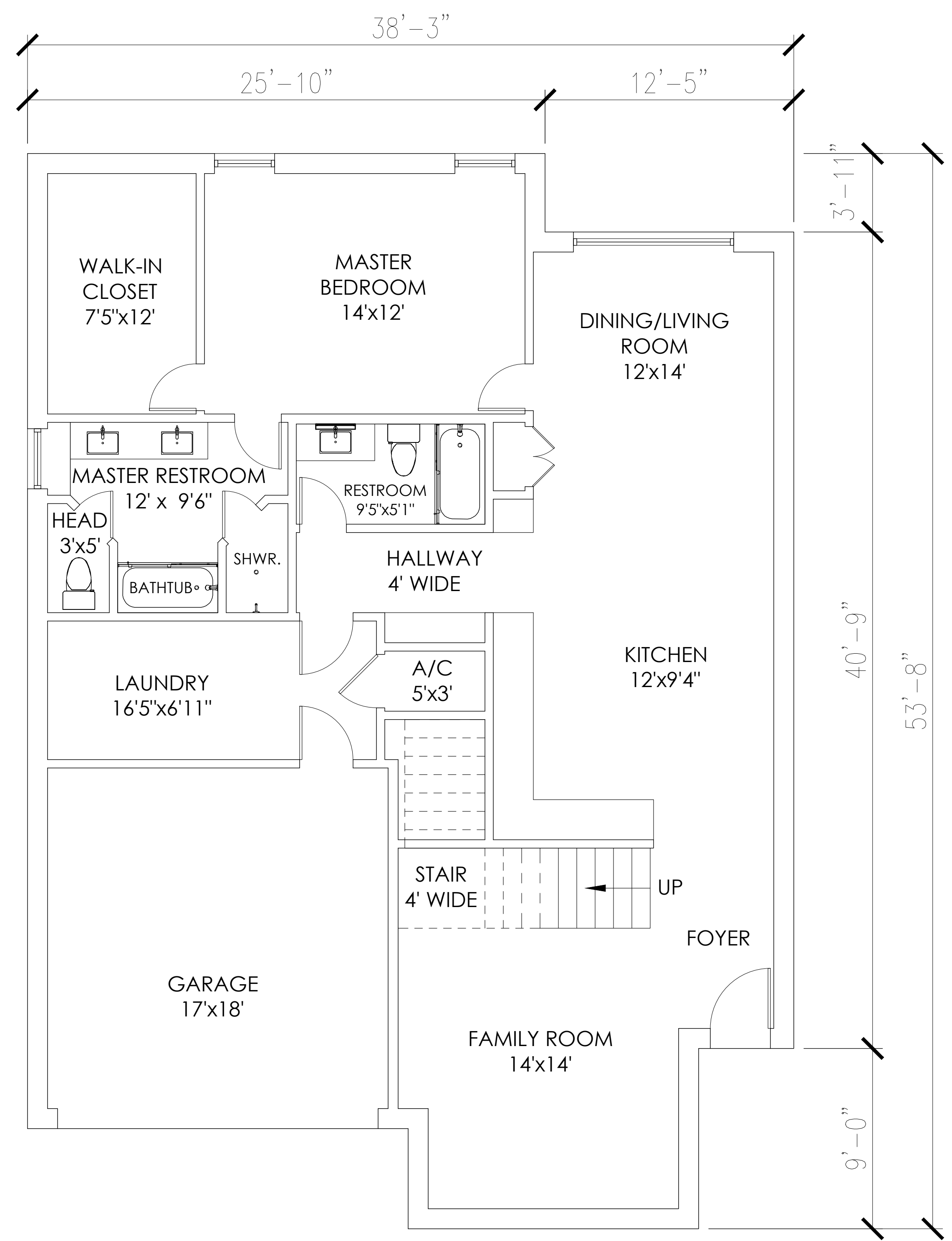
SHEET TITLE:
PRELIMINARY
SINGLE STORY
FLOOR PLAN

SHEET No.:
A2.02



SINGLE FAMILY HOME 4BED/3BATH
1,188 SF 2ND FLOOR
(TOTAL SF 3,055 SF)

01 TWO STORY PRELIM.
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



SINGLE FAMILY HOME 4BED/3BATH
1,865 SF 1ST FLOOR
(TOTAL SF 3,055 SF)

01 TWO STORY PRELIM.
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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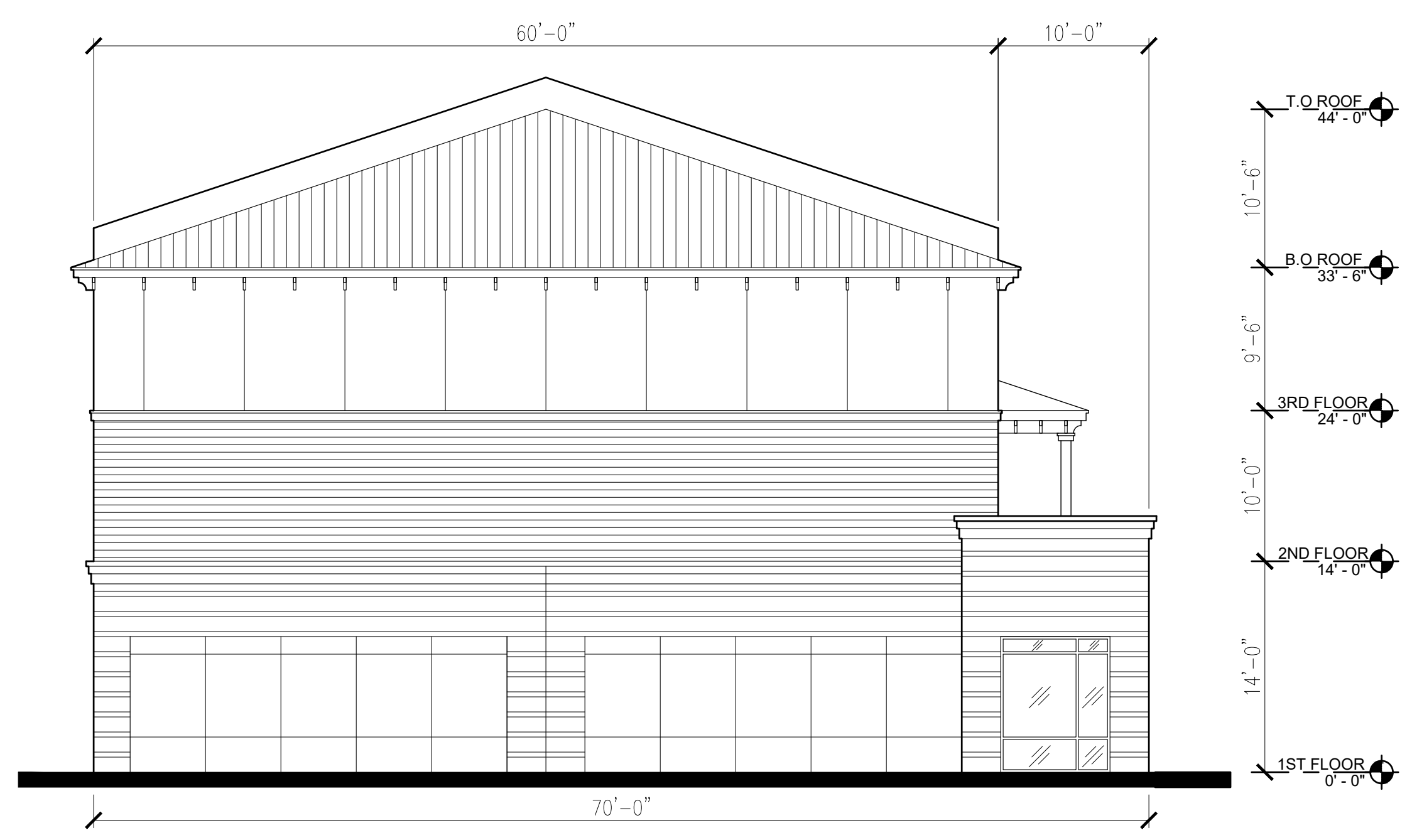
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03 AUG 2022

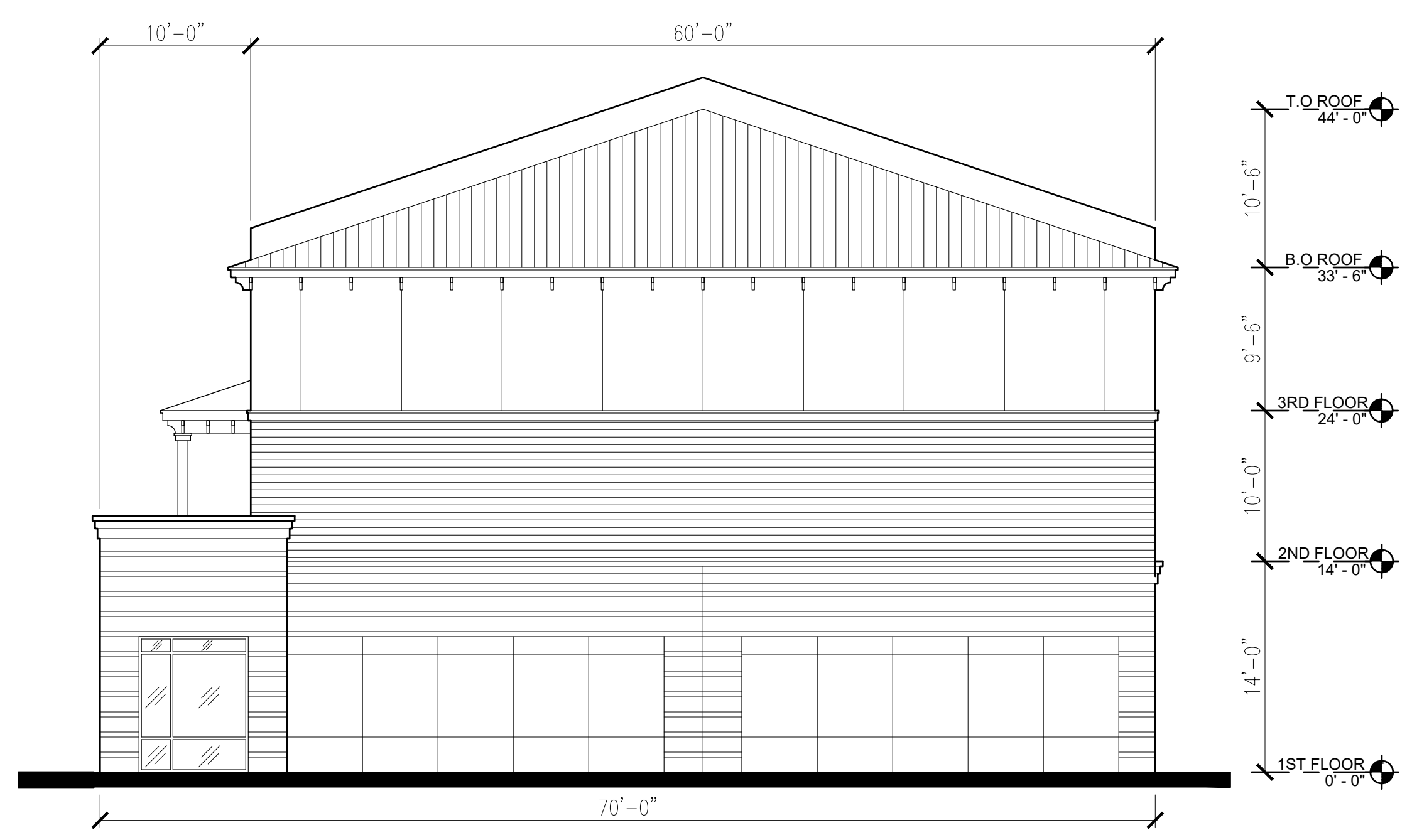
PROJECT No.:
22028.100

SHEET TITLE:
PRELIMINARY
TWO STORY
FLOOR PLAN

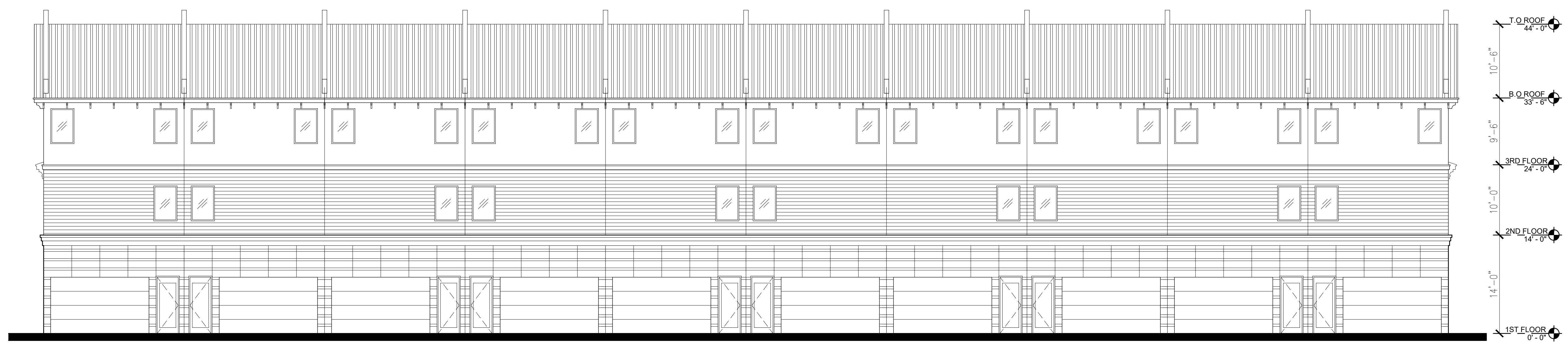
SHEET No.:
A2.03



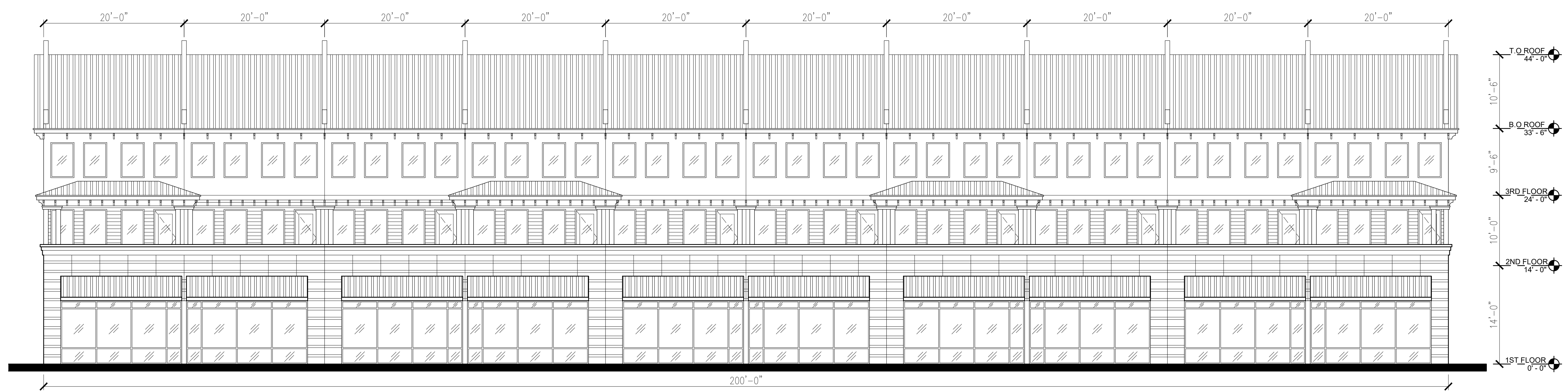
03 TOWNHOME/RETAIL
SIDE ELEVATION
SCALE: 1/8" = 1'-0"



03 TOWNHOME/RETAIL
SIDE ELEVATION
SCALE: 1/8" = 1'-0"



02 TOWNHOME/RETAIL
REAR ELEVATION
SCALE: 1/8" = 1'-0"



01 TOWNHOME/RETAIL
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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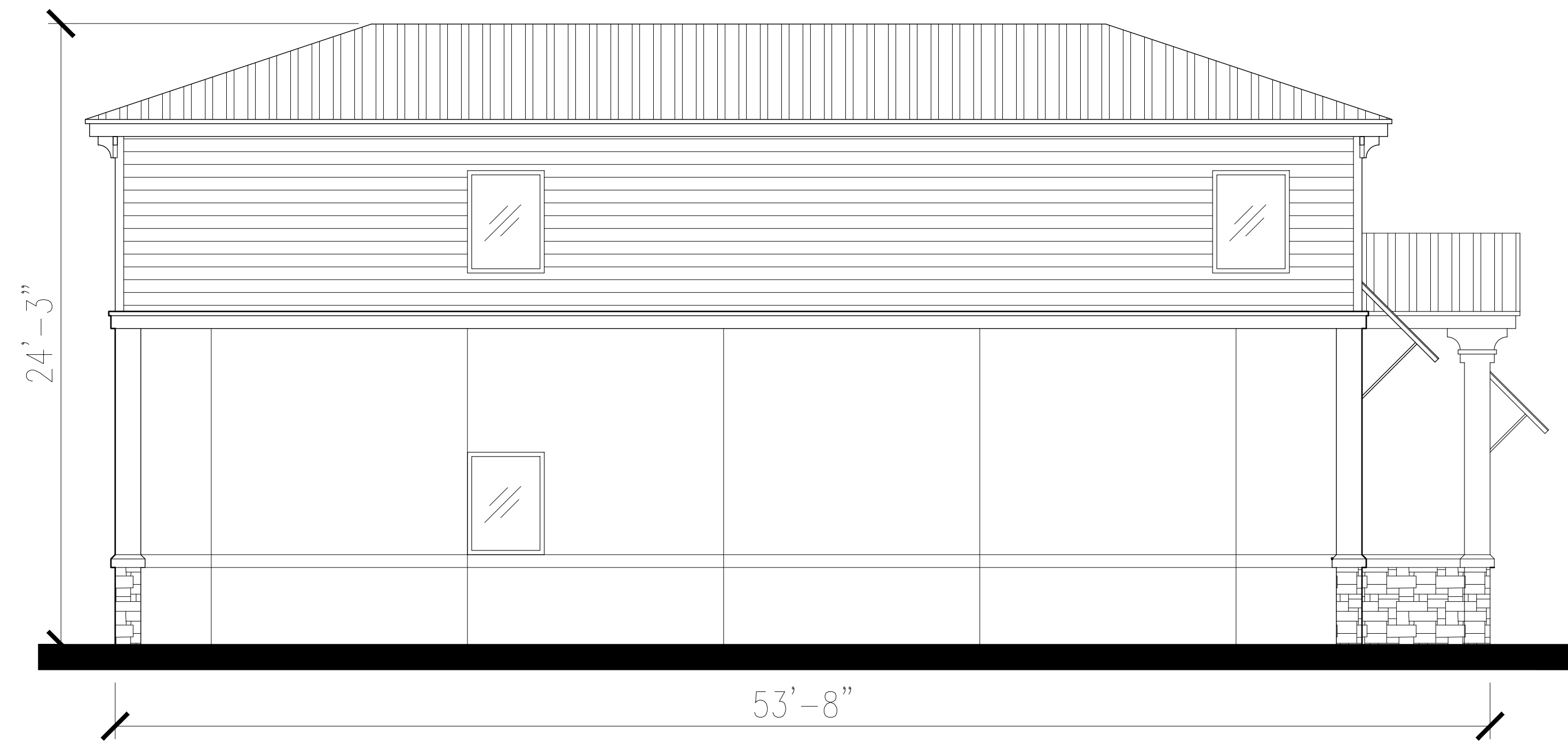
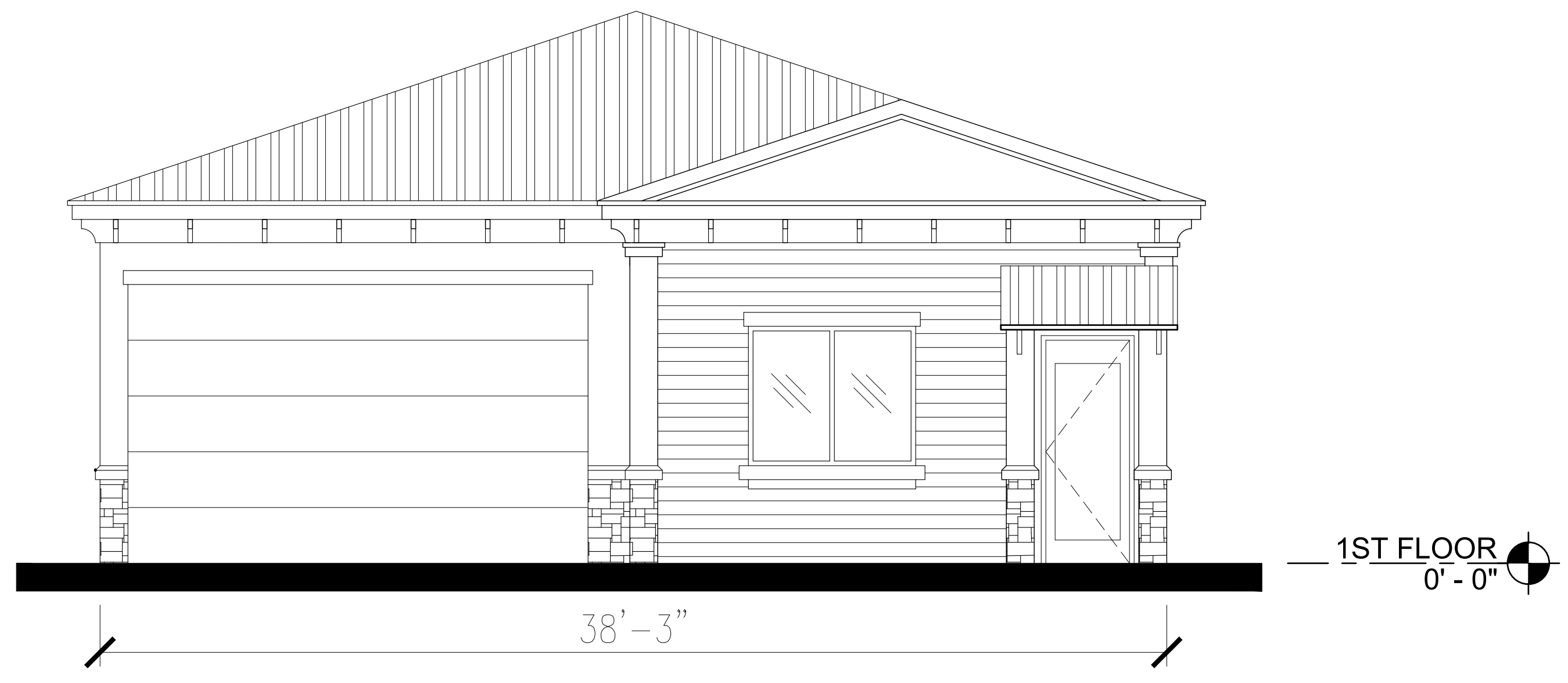
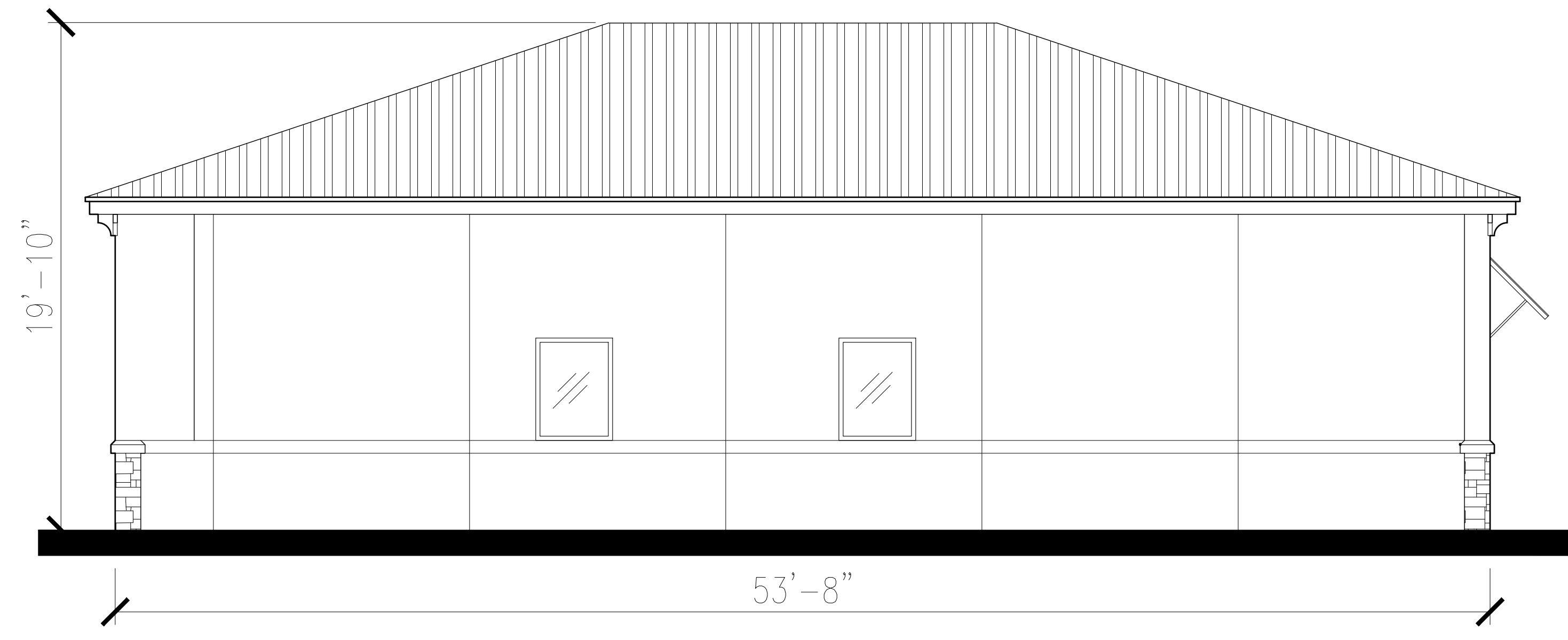
REVISIONS:

ISSUE DATE:
03 AUG 2022

PROJECT No.:
22028.100

SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.01



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ISSUE DATE:
03 AUG 2022
PROJECT No.:
22028.100
SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.02
08.18.2022 Council Packet Pg. 10 of 196

Garden Home Ordinance

Sec. 14.02.042 Purposes of districts

(b) “GH” residential district (single-family). This district is designed to accommodate detached single-family dwellings in a medium density setting allowing for innovation in development designed to encourage individual home ownership either on platted conventional lots or in a clustered site-plan configuration.

Division 5. Residential District Regulations

Sec. 14.02.171 General provisions

(a) Table of standards. The standards contained in the following table shall govern the height, area, yard and parking requirements of residential and permitted nonresidential uses in the residential districts.

TABLE 14.02.171

	Districts				
	SF		MF		GH
Regulations	Residential	Nonresidential	Residential	Nonresidential	
HEIGHT (max. in ft.)	35 (n-1)	45 (n-1)	35 (n-1)	45 (n-1)	35
AREA (n-2)					
Lot area (min. per dwelling unit in sq. ft.)		None		None	6000
Single-family	21780		21780		
Multifamily			7200		
Living area (min. per dwelling unit in sq. ft.)					
	1250		800		2000
LOT					
Width (min. in ft.)	80	None	60	None	50
Coverage, building (max. % of lot area)	25	25	40	40	50
Coverage, impervious surface (max. % of lot area)	40	40	40	40	70
YARDS (n-3) (min. in ft.)					
Front	50	50	25	25	15
Side - interior lot	25	25	5	—	5
Side - corner lot	35	35	15	15	15
Rear (n-4)	25	25	10	10	15
Rear - double frontage	35	35	20	20	

PARKING (min. spaces per dwelling unit)	2	n-5	2.25	n-5	Garage-2 Guests-2
SPACE - Landscaped open space (min. % of lot area)	–	20	–	20	

Notes to table 14.02.171:

1. In addition to the minimum yard requirements contained herein, each side and rear yard shall be increased an additional foot for each foot (or fraction thereof) the structure exceeds 35 feet in height; provided, that in no event shall the height of a building exceed by ten (10) feet the maximum height prescribed for such structure and district in table 14.02.171.
2. Lot area shall be exclusive of the means of vehicular access thereto, whether by public or private street or other access easement or way. Lots of 14,500 square feet or more but less than 21,780 square feet created by plat or deed and recorded in the office of the county clerk of Tarrant County before April 13, 1981, the effective date of this amendment, shall not be deemed nonconforming as to lot area.
3. Any single-family residential lot which on February 18, 1991, was classified “SF-2,” shall not be deemed nonconforming as to front and side yards if the lot has a front yard of not less than 35 feet and side yards of not less than 15 feet each (25 feet, if a corner lot). Lots platted and zoned for residential use which are “panhandle” lots, as herein defined, shall comply with the provisions of this table or [section 14.02.171\(d\)](#), whichever is more restrictive.
4. Any single-family residence constructed on a lot which was created by plat or replat recorded in the office of the county clerk of Tarrant County before March 1, 2002, shall not be deemed nonconforming as to minimum rear yard if such yard is not less than 15 feet.
5. Nonresidential parking is regulated by [division 9](#) of this article.

(2005 Code, sec. 17.5.01)

(b) Parking.

- (1) On any lot used for single-family residential purposes, there shall be provided two (2) covered vehicle parking spaces of not less than 180 square feet each, per dwelling unit.
- (2) On any lot used for multifamily residential purposes, there shall be provided 2.25 covered vehicle parking spaces per dwelling unit, complying with the standards prescribed in [division 9](#) of this article.
- (3) On any lot used for nonresidential purposes, parking and loading areas shall be provided complying with the standards of division 9 of this article.
- (4) All nonresidential parking and loading areas shall be screened from adjacent residential property. Parking or loading in a required yard is prohibited.

(c) Special standards. Panhandle lots shall conform to the following minimum requirements:

- (1) In calculating the lot area for the purpose of determining compliance with this section, including maximum building coverage and maximum impervious surface coverage, the area of the panhandle shall not be deemed a part of the lot.
- (2) All minimum yards shall be thirty (30) feet.
- (3) Maximum building coverage shall be 20%.
- (4) Maximum impervious surface shall be 30%.
- (5) No building, either primary or accessory, shall be located in either the panhandle or any required yard.

(Ordinance 2020-02, sec. 3, adopted 2/20/20)

Sec. 14.02.174 “GH” residential district

A building or premises in this district shall be used only for the following purposes under the standards herein contained:

- (1) In this district there shall be only garden homes and accessory buildings as elsewhere herein regulated.
- (2) Any building in this district shall meet the following design standards:
 - (A) The building shall be not less than 85% masonry. As used in this subsection, “masonry” includes: brick, stone or tile, hand-laid unit by unit; veneer simulations of the materials having the appearance of hand-laid units, when approved by the city; and, stucco when applied in accordance with building code standards therefor.
 - (B) The building shall have a minimum 8/12 roof pitch and not less than a 40-year quality architectural profile shingle.
- (3) Any development in the GH district shall be developed in accordance with a site plan meeting the requirements of developments having a PD overlay.
- (4) Uses allowed in GH and in other zoning classifications may be developed under a common PD plan meeting the procedural requirements of [division 7](#) of this article.

(2005 Code, sec. 17.5.04)

- (5) Mobile food units are permitted upon the following conditions:
 - (A) The property owner has requested the services of the mobile food unit;
 - (B) The mobile food unit may only provide goods and services to the property owner or the property owner's guests at the property owner's expense. No sales will be made to the general public.

(C) Mobile food units may not obstruct traffic movement, or impair visibility or safety to the site.

(D) Mobile food units must have valid health permit and comply with chapter 228 of the Texas Administrative Code related to mobile food unit operations.

(Ordinance 2018-01, sec. 4, adopted 2/15/18)