

Notice of a Meeting
Dalworthington Gardens Planning and Zoning Commission

December 19, 2023 at 6:00 p.m.

City Hall Council Chambers, 2600 Roosevelt Drive, Dalworthington Gardens, Texas

The Planning and Zoning Commission reserves the right to adjourn into closed session at any time during the course of this meeting as authorized by Texas Government Code, Section 551.071 (Consultation with Attorney).

1. Call to Order
2. Citizens who wish to speak to the Planning & Zoning Commission Members will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the presentation is on the agenda, the City staff and Planning and Zoning Commission Members are prevented from discussing the subject and may respond only with statements of factual information or existing policy.
3. Discussion and possible action regarding a Zone Change Application requesting a rezone from single-family "SF" residential to garden homes "GH" base zoning with a mixed-use "MU" overlay for properties located at 2500 California Lane and 2512 California Lane, Dalworthington Gardens.
 - i. Conduct public hearing
 - ii. Discussion and action
4. Discussion and possible action on a replat for property described as Lot 2R, Block 1 of Dalworthington Gardens Addition, Dalworthington Gardens, Tarrant County, Texas otherwise known as 3428 W. Arkansas Lane Dalworthington Gardens, Tarrant County, Texas
5. Future agenda items.
6. Adjourn

CERTIFICATION

This is to certify that a copy of the **December 19, 2023** Planning and Zoning Commission Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofdwg.net, in compliance with Chapter 551, Texas Government Code.

DATE OF POSTING: _____ TIME OF POSTING: _____ TAKEN DOWN: _____

Sandra Ma, Interim City Secretary

Staff Agenda Report

Agenda Subject: Discussion and possible action regarding a Zone Change Application requesting a rezone from single-family “SF” residential to garden homes “GH” base zoning with a mixed-use “MU” overlay for properties located at 2500 California Lane and 2512 California Lane, Dalworthington Gardens.

Background Information: A Zone Change Application was received for properties located at 2500 California Lane and 2512 California Lane for a change from single family “SF” residential to garden home “GH” base zoning with a mixed-use “MU” overlay.

Per Local Government Code, Chapter 211, zone changes must comply with the City’s Comprehensive Plan as follows:

Sec. 211.004. COMPLIANCE WITH COMPREHENSIVE PLAN. (a) Zoning regulations must be adopted in accordance with a comprehensive plan and must be designed to:

- (1) lessen congestion in the streets;
- (2) secure safety from fire, panic, and other dangers;
- (3) promote health and the general welfare;
- (4) provide adequate light and air;
- (5) prevent the overcrowding of land;
- (6) avoid undue concentration of population; or
- (7) facilitate the adequate provision of transportation, water, sewers, schools, parks, and other public requirements.

The Future Land Use Map from the current 2005 adopted Plan shows these properties to remain as single family residential. However, in the latest Plan draft amendment from June 2023 includes changes to proposed Bowen Road future land uses as described below. The full description can be found in your packet.

The Bowen Road Planned Development Overlay may include Large Lot Residential uses but may also include a mixture of Medium Density Single Family Garden Homes, and Commercial Uses with a preference toward agricultural related businesses (vegetable and meat markets, farm and ranch supply, etc.) and restaurants. Garden Home developments shall include 10 percent open space for parks and community gardens. The Planned Development shall provide an orderly transition from commercial uses to the large lot Residential uses and incorporate suitable separation barriers with a preference to vegetated barriers in lieu of hardened barriers such as fences. Uses other than large lot residential uses shall be planned development.

The applicant has communicated to the City he desires to build garden homes with a few small foot print restaurants on the south end of the development.

Recommended Action/Motion: Motion to approve a Zone Change Application requesting a rezone from single-family “SF” residential to garden homes “GH” base zoning with a mixed-use “MU” overlay for properties located at 2500 California Lane and 2512 California Lane, Dalworthington Gardens.

OR

Motion to deny a Zone Change Application requesting a rezone from single-family “SF” residential to garden homes “GH” base zoning with a mixed-use “MU” overlay for properties located at 2500 California Lane and 2512 California Lane, Dalworthington Gardens.

Attachments:

Zone Change Application

2005 Current Future Land Use Map


Bowen Road Corridor PD Overlay Verbiage from Comp Plan

2023 Draft Future Land Use Map

Zone Change Application (cont.)

3. If approved, a zone change is applied to the property, not the property owner.
4. The Planning & Zoning Commission makes recommendations to City Council. If the Planning & Zoning Commission recommends approval of a zone change request, the case must still go before City Council for final action.
5. Certain minimum building setbacks from some or all property lines must be maintained, and room for a minimum number of parking spaces must be reserved on a subject property, based on that property's zoning classification and the nature of its proposed use. A privacy fence may also be required between residential and non-residential zoning districts. These requirements are outlined in the City of Dalworthington Garden's Ordinances. It is the applicant's benefit to ensure that any proposed development will fit onto the subject property, in compliance with these and other applicable requirements of the City's Code of Ordinances.
6. The City is required to mail letters to owners of property within 200 feet of the subject property of the zone change request.
7. The applicant or an authorized representative should attend public hearings pertaining to the request and be prepared to present the case and answer any relevant questions from the Planning & Zoning Commission and City Council members.

I hereby certify that I am the owner or duly authorized agent of the owner for the purposes of this application. I further certify that I have read and examined this application and know the same to be true and correct. If any of the information provided on this application is incorrect, the permit or approval may be revoked.

Signature: 

Date: 07/17/23

OFFICE USE ONLY

Case Number:

Date of Application:

Date Paid:

Affidavit attached?: Yes No

P&Z Meeting
Date:

|

CITY OF DALWORTHINGTON GARDENS

Tarrant County, Texas

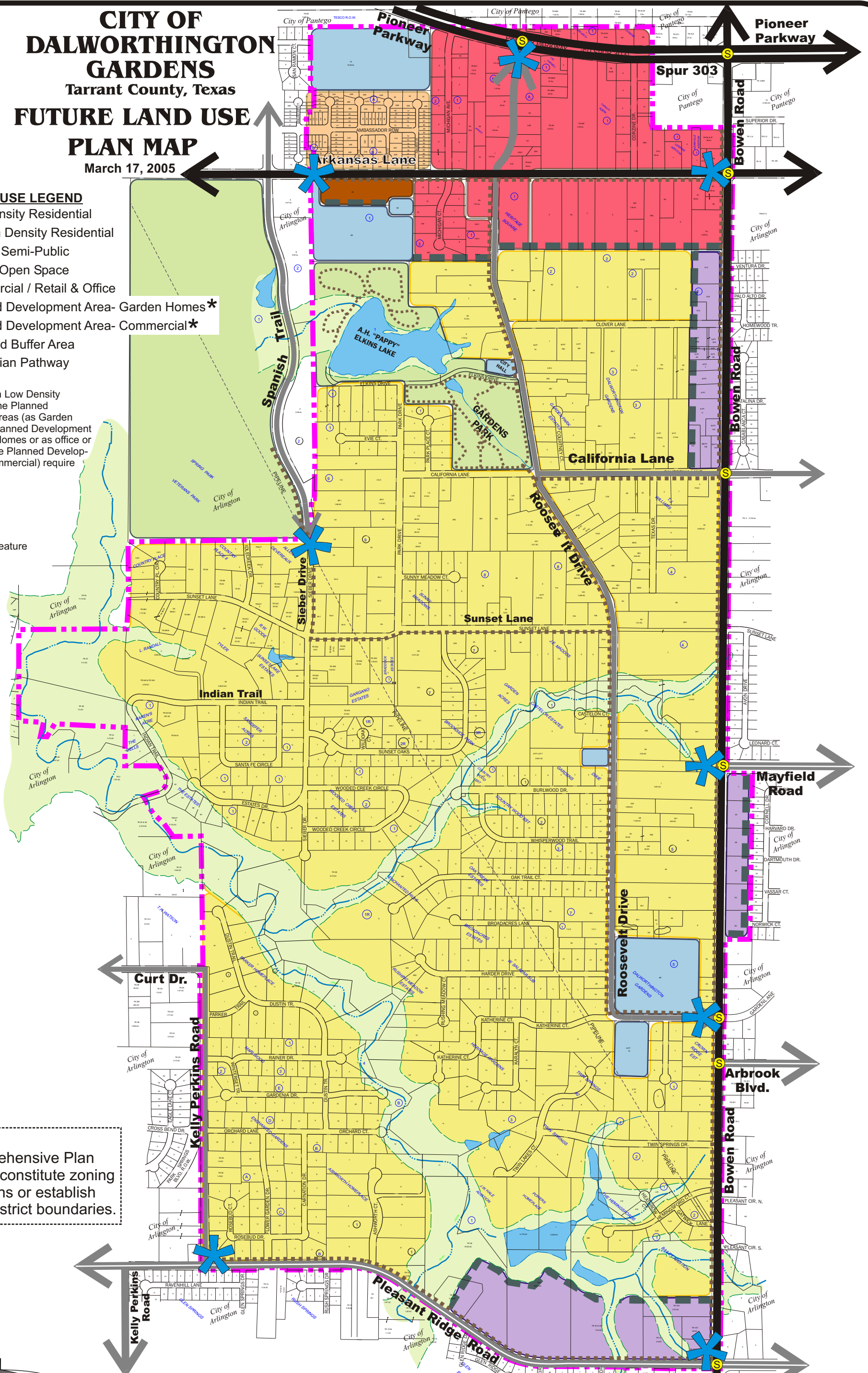
FUTURE LAND USE PLAN MAP

March 17, 2005

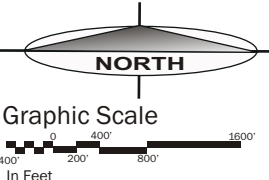
- LAND USE LEGEND**
- Low Density Residential
 - Medium Density Residential
 - Public / Semi-Public
 - Parks / Open Space
 - Commercial / Retail & Office
 - Planned Development Area- Garden Homes*
 - Planned Development Area- Commercial*
 - Required Buffer Area
 - Pedestrian Pathway

***NOTE:**
Uses other than Low Density Residential in the Planned Development Areas (as Garden homes in the Planned Development Area- Garden Homes or as office or retail uses in the Planned Development Area- Commercial) require plan approval.

- Traffic Signal
- Entry Feature



Note:
A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries.



Denotes 100 year Flood Plain Limits per FEMA maps

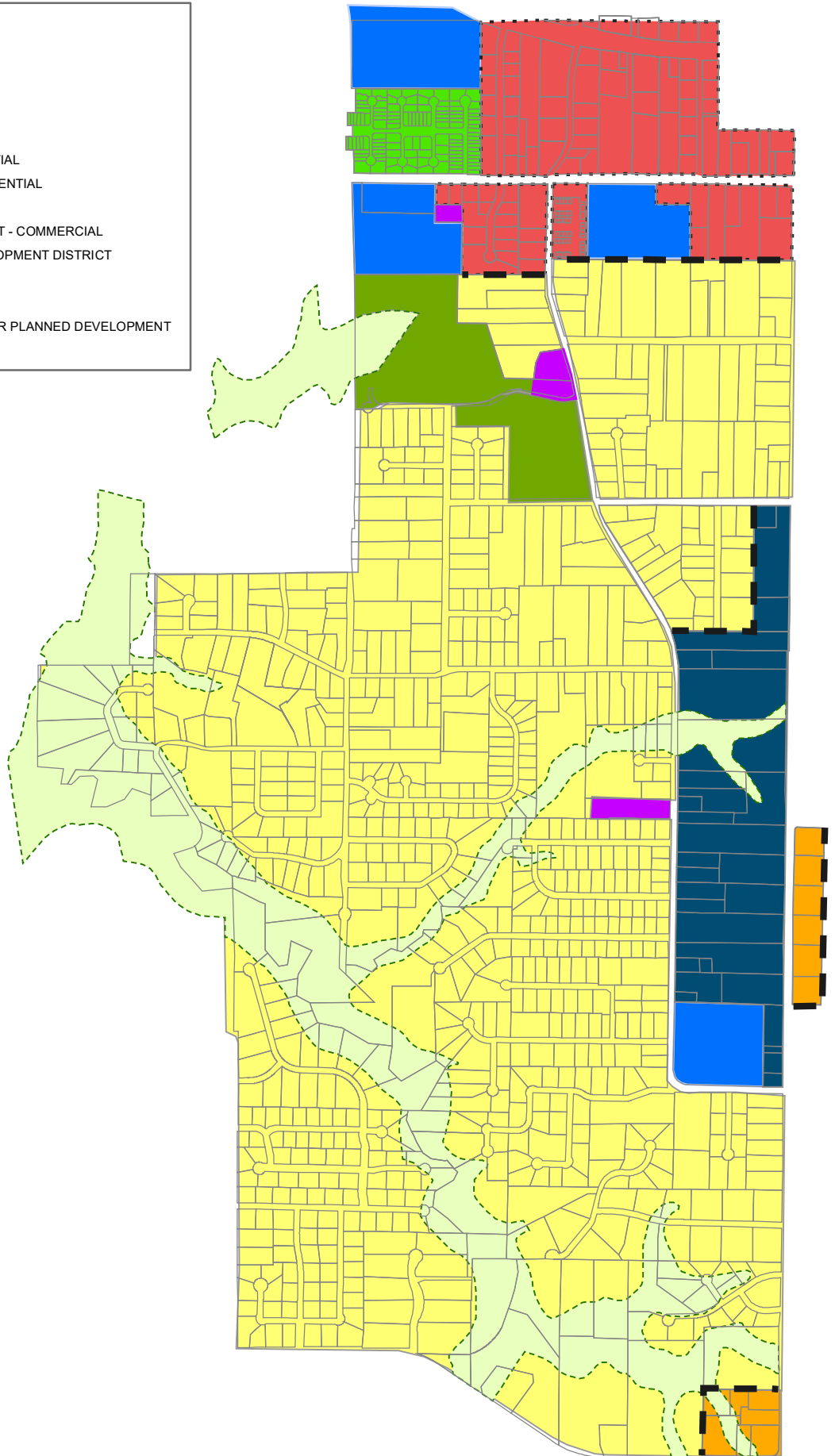
City Limit Line

Base map prepared by:
TEAGUE NALL AND PERKINS
CONSULTING ENGINEERS

Prepared by:
MPRG inc.
Municipal Planning Resources Group, Inc.

Land Use Legend

- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- PARKS/OPEN SPACE
- PLANNED DEVELOPMENT - COMMERCIAL
- COMMERCIAL/REDEVELOPMENT DISTRICT
- EDUCATION
- PUBLIC/SEMI-PUBLIC
- BOWEN ROAD CORRIDOR PLANNED DEVELOPMENT



Bowen Road Corridor Area (Planned Development Overlay)

The Bowen Road corridor will have a multi-use purpose. Its future development will focus on commercial as well as residential development. Existing large residential lots that have both Bowen and Roosevelt access may be subdivided to allow commercial development on the Bowen Corridor only. These said lots shall remain residential on the Roosevelt side with no vehicular traffic connection between them.

One Planned Development Area of higher intensity use is designated along Bowen Road. The area on the east side of Bowen Road, south of Mayfield, would be an ideal location for an office or retail development.

The west side of the Bowen Road corridor between Roosevelt Drive and Bowen Road from the Roosevelt Drive intersection to the California Lane intersection shall be designated as a Planned Development Overlay Area.

Such a community shall be defined as an organized mixed-use community that integrates agricultural and food service commercial businesses, with residential uses, and open spaces that might be used as parks or community gardens.

Most of the west side of the Bowen Road corridor between Roosevelt Drive and Bowen Road from the Roosevelt Drive intersection to the California Lane intersection shall be designated as a Planned Development. The exception to including all of the land between Roosevelt Drive and Bowen Road begins at the California Lane intersection. Here the Planned Development shall only extend approximately 290 feet to the west from the Bowen Road right-of-way line for a distance of approximately 1,042 feet south along Bowen Road. (See the Future Land Use Map.)

The Bowen Road Planned Development Overlay may include Large Lot Residential uses but may also include a mixture of Medium Density Single Family Garden Homes, and Commercial Uses with a preference toward agricultural related businesses (vegetable and meat markets, farm and ranch supply, etc.) and restaurants. Garden Home developments shall include 10 percent open space for parks and community gardens. The Planned Development shall provide an orderly transition from commercial uses to the large lot Residential uses and incorporate suitable separation barriers with a preference to vegetated barriers in lieu of hardened barriers such as fences. Uses other than large lot residential uses shall be planned development.

The decisions made now by the City as to the type of uses permitted along Bowen Road as it passes the core of the City are surely critical to the future of Dalworthington Gardens. Although it may be possible to attract some limited retail uses to this corridor, it is believed that such development would likely not be of a character clearly compatible with the residential development along Roosevelt Drive and would almost certainly tend toward the sort of intermittent strip development seen along Pioneer Parkway. The most promising area is at the intersection of Mayfield/Bowen between the Rush Creek tributaries. The light there affords good traffic flow in all directions. It is also highly probable that indecisiveness in the land use designation for Bowen Road will inhibit the build-out of the area between Bowen and Roosevelt south of California Lane as large lot residential developments. Dalworthington Gardens is a very small city surrounded by a very large one. Build-out of the area within Bowen Road, Roosevelt Drive, and California Lane as large lot residential properties is highly desirable in order to maintain a critical mass of large lot residential properties and identity of DWG as having such attractive land use. This is the surest path to maintaining the property values of the residential property in the City.

INTERIM REVIEW DOCUMENTS
This document is preliminary and is for planning purposes only. It is not intended for Regulatory Approval, Permit, or Construction Purposes.
This document is issued under good faith, and the issuer is not held liable under any circumstances.

REVISIONS:

ISSUE DATE:
13 DEC 2023

PROJECT No.:
22028.100

SHEET TITLE:

OVERALL
ARCHITECTURAL
SITE PLAN

SHEET No.:

A1.02

T.J. WILLIAMS SUBDIVISION
V. 388-29, P. 213, P.R.T.C.T.
EXIST. LAND USE RESIDENTIAL

GARDEN HOME LOTS MIN. 6,001 SF (.1377 ACRES MIN. EA.)

CALIFORNIA LANE

BOWEN

5' INT. SIDE SETBACK

32' BETWEEN HOMES

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

LOT 12

LOT 15

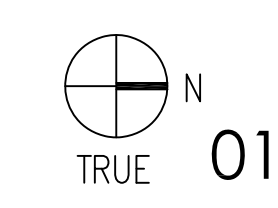
LOT 14

LOT 13

COMMERCIAL LOT - 119,035 SF (2.7325 ACRES)

LOT 5A, BLK. 4
DALWORTHINGTON GARDENS ADDITION
V. 388-123, P.29, P.R.T.C.T.
EXIST. LAND USE VACANT

AREA TABULATIONS	
TOTAL COMMERCIAL LOT =	2.733 ACRES (APPROX. 119,035 SF)
TOTAL RESIDENTIAL LOTS =	2.060 ACRES (APPROX. 89,733 SF)
	(MIN. LOT = 6,001 SF , MAX. LOT = 11,342 SF.)



OVERALL
CONCEPT PLAN

SCALE: NTS. ALL DIMENSIONS ARE APPROXIMATE



The Villages of DWG

Project Narrative

Introduction

This mixed-use planned development envisions a vibrant node of commercial and residential uses on 5 acres of vacant land at the high-traffic intersection of S. Bowen Road and California Lane. Currently zoned single-family residential yet situated along an approved commercial corridor, the site allows a thoughtful fusion of neighborhood-scale commerce and garden homes that align with both Ordinance No. 2023-18 and Dalworthington Gardens' growth management goals.

The Villages of DWG project comes from long-time Dalworthington Gardens resident Trevor Turnbow and his firm Turnbow Construction. For over 20 years prior to its transfer to Trevor, the land had been part of his family heritage and stories. Having witnessed DWG endure sweeping changes over the decades of personal history here, Trevor feels passionately about guiding the next chapter of positive yet sensitive development growth. As both a landowner deeply vested in this place as well as a developer attuned to responsible practices, Trevor Turnbow through Turnbow Construction and its affiliate Turnbow Fairytale LLC is dedicated to collaboratively seeing The Villages at DWG come to life in alignment with the City's Vision.

Honoring the City's History

As the only surviving New Deal subsistence homestead town in Texas, Dalworthington Gardens cherishes its roots while welcoming new development. The Villages of DWG concept seeks to continue that balance of history and progress through a carefully-designed mix of uses befitting DWG's heritage. 14 garden homes pay homage to the City's original homestead cottages, buffering nearby neighborhoods from more intense retail and offices. High-quality architectural designs will complement the development's placement along the new "Gates Gateway" into DWG.

Alignment with City Plans

The 2005 Comprehensive Plan encourages partnerships to enable fiscally and environmentally responsible growth. It also endorses beautification initiatives and redevelopment of aging sites. Located on vacant land at the intersection of two critical roadways, The Villages of DWG will transform an underutilized lot into an attractive commercial node offering contemporary conveniences to residents and visitors alike. Landscaping, lighting, and signage will enhance aesthetics and safety for all.

Traffic Mitigation Strategy

While the site's arterial placement suits a commercial node, Bowen Road's high southbound volumes necessitate circulation improvements. As such, the developer will proactively dedicate a 0.05 acre portion of land on the corner for the City to later build a deceleration lane. Though not essential currently, this concession reserves the option to enhance mobility long-term.

Responsible Site Design

Initial engineering consultation confirms the relatively flat topography limits major grading needs. The site also falls outside flood-prone areas. Upon concept approval, the developer will furnish professionally engineered grading and drainage plans meeting all City specifications for review, helping ensure responsible stormwater management.

Requested Concessions

In the spirit of win-win compromise, the developer seeks the following concessions from the City:

1) Waiver of all impact fees and replatting fees in exchange for the gifted deceleration lane land noted above, worth approximately \$125,000. This mirrors concessions secured for similar developments in Arlington.

2) Additionally, the developer will construct an ornamental entrance sign on donated land near the site to welcome visitors to Dalworthington Gardens along the high-profile Bowen Road corridor.

We believe these community enhancements demonstrate good faith while saving taxpayer funds and enabling the City to meet its growth vision. We kindly request consideration of the requested concessions above in recognition of the significant value being provided to the public through The Villages of DWG.

Sincerely,

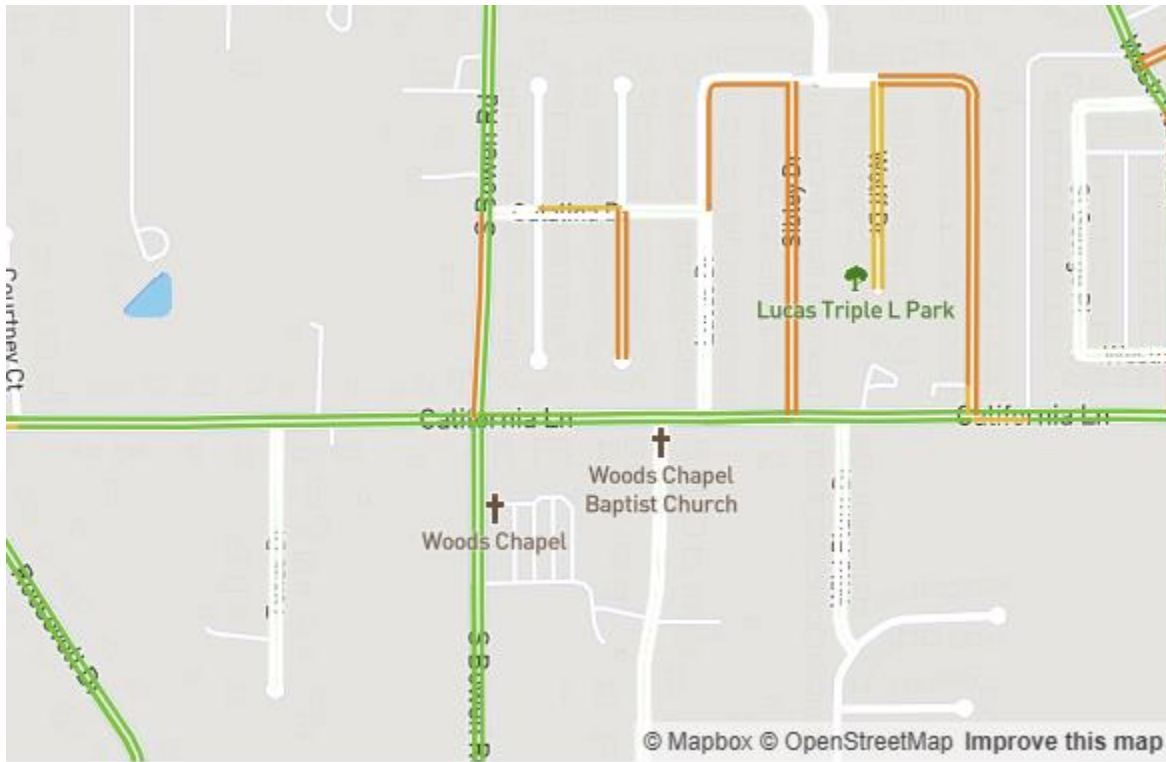
Trevor Turnbow

President Turnbow Construction

www.TurnbowConstruction.biz

682-266-8929

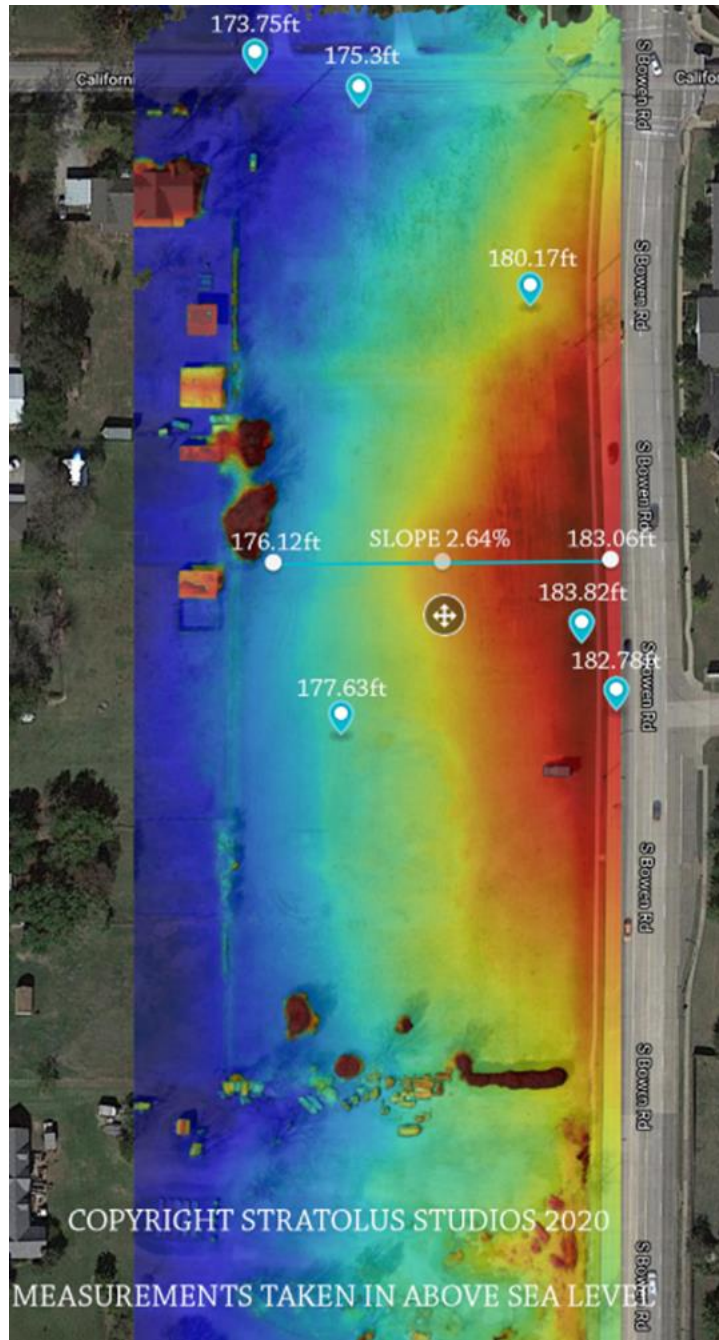
Traffic Study provided by Mapbox OpenStreetMap



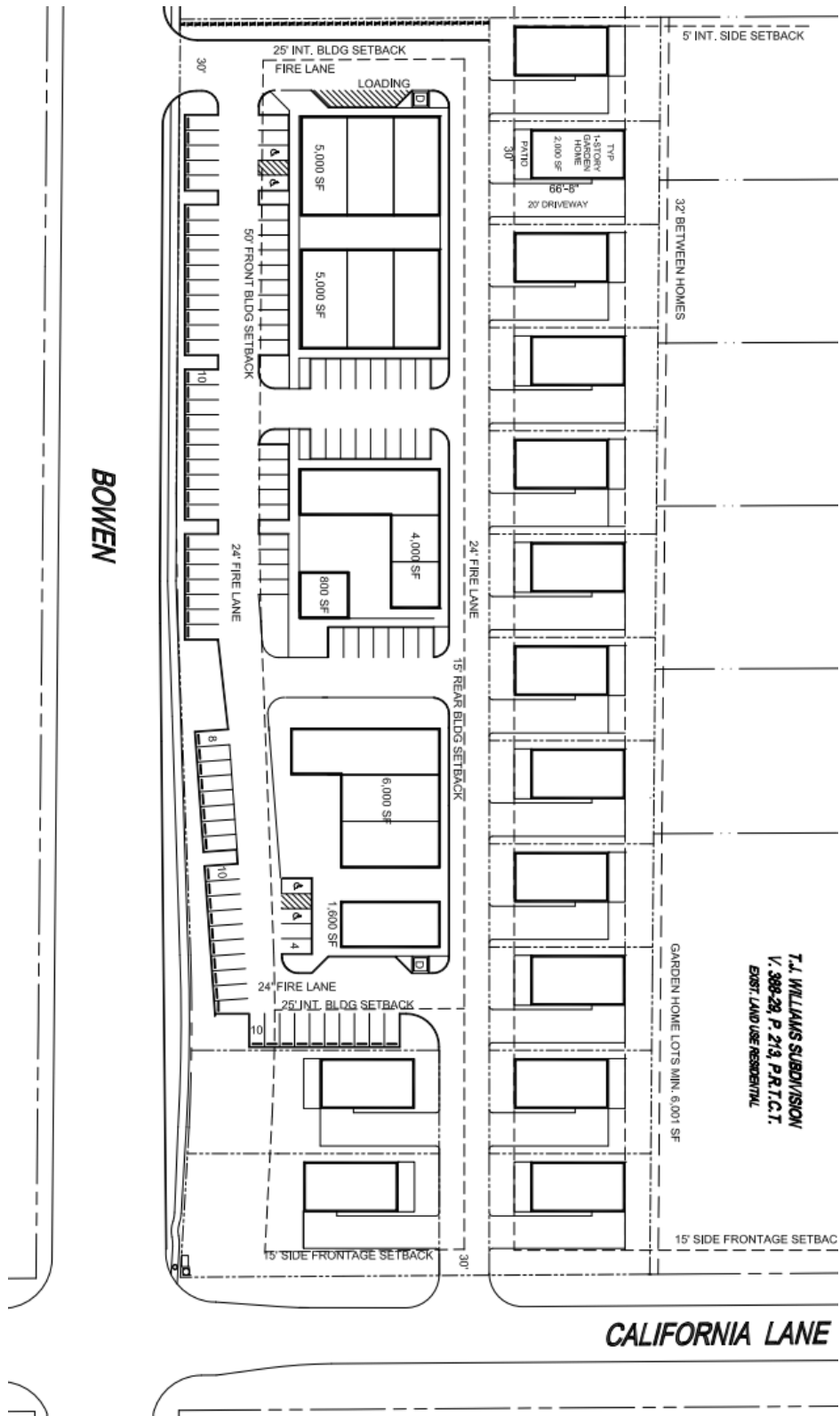
Ariels provided by Turnbow Construction



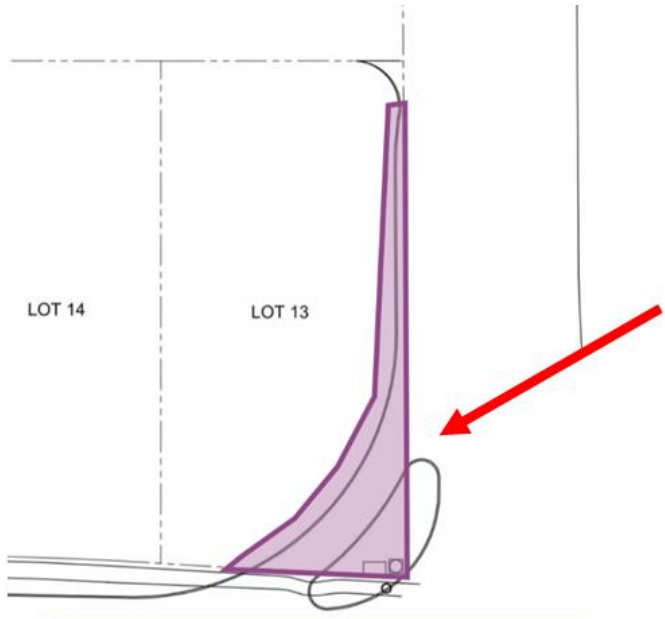
Topography Report



Concept Plans without Deceleration Lane or City Monument Sign



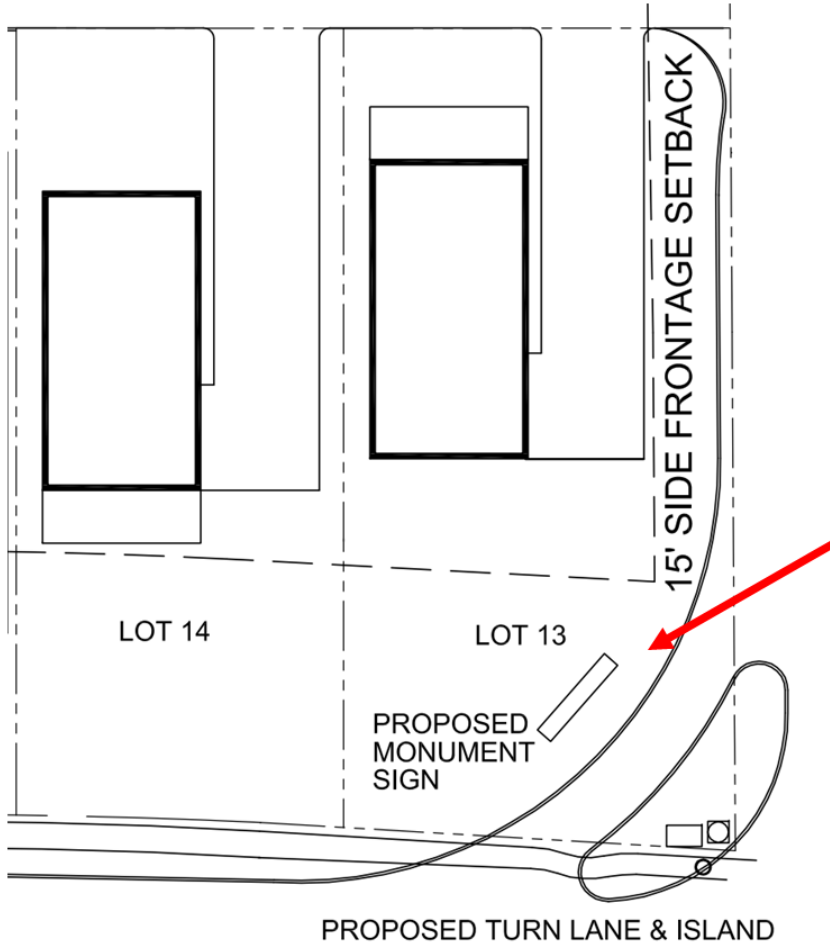
Deceleration Lane



Deceleration Lane provided to city as concession for no impact fees & no platting fees on this PD.

 Deceleration Easement	2,148.59 SF
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Monument Sign



Proposed City Monument Sign provided to city as concession for no impact fees & no platting fees on this PD.

Example of Deed w/ Impact & Replat Fee Waivers

Mary Louise Garcia Mary Louise Garcia

SPECIAL WARRANTY DEED WITH VENDOR'S LIEN LANGUAGE

GF# 17000230167 Stewart/drx/23

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**THE STATE OF TEXAS §
 §
COUNTY OF TARRANT §**

THAT, **CENTER STREET COMPLEX, LLC**, a Texas limited liability company ("Grantor"), whose address is 4040 Vernon Way, Fort Worth, Texas 76244, for and in consideration of the sum of \$10.00 cash in hand paid by **CENTER ST. FACTOR, LLC**, a Texas limited liability company ("Grantee"), whose address is 4040 Vernon Way, Fort Worth, Texas 76244, and other good and valuable consideration, and the further consideration of the execution and delivery by the said Grantee of its promissory note in the stated principal sum set forth therein ("Note"), payable to the order of **PLAINSCAPITAL BANK**, a Texas state bank ("Lender"), bearing interest, being payable and maturing as therein provided, and being secured by a vendor's lien and superior title retained herein in favor of said Lender and being also secured by, inter alia, that certain Deed of Trust, Security Agreement, Assignment of Leases, Assignment of Rents, and Financing Statement from Grantee in favor of Darrell G. Adams, Trustee for the benefit of the Lender, the receipt and sufficiency of which are hereby acknowledged by Grantor, has **GRANTED, BARGAINED, SOLD AND CONVEYED**, and by these presents does **GRANT, BARGAIN, SELL and CONVEY** unto Grantee, that certain tract of real property situated in Tarrant County, Texas, and described in Exhibit "A" attached hereto and made a part hereof for all purposes (the "Land") together with, all and singular, all improvements thereon (if any), and all rights and appurtenances pertaining thereto, including, without limitation, any right, title and interest of Grantor in and to adjacent streets, roads, alleys, or rights-of-way, strips and gores adjoining the Land, any development rights, air rights, and any other easements, interests, rights, powers and privileges appurtenant to the use and enjoyment of the Land. The Land and all rights, property and interests above described being hereinafter referred to collectively as the "Property."

This conveyance is being made by Grantor and accepted by Grantee subject to all easements, restrictions, rights, reservations, encumbrances and other matters described in Exhibit "B" attached hereto and made a part hereof (collectively, the "Permitted Exceptions").

TO HAVE AND TO HOLD the Property, together with, all and singular, the rights and appurtenances thereto in anywise belonging, to Grantee and Grantee's successors and assigns forever; and subject to the Permitted Exceptions, Grantor does hereby bind Grantor and Grantor's successors and assigns to warrant and forever defend, all and singular, the Property unto Grantee and Grantee's successors and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof by, through or under Grantor, but not otherwise, subject to the Permitted Exceptions.


Lender, at Grantee's request, has paid in cash to Grantor that portion of the purchase price of the Property that is evidenced by the Note. The first and superior vendor's lien against and superior title to the Property are retained for the benefit of Lender and are transferred to Lender without recourse against Grantor.

Unofficial Copy

EFFECTIVE as of the 18 day of July, 2018.

GRANTOR:

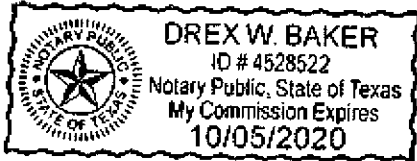
CENTER STREET COMPLEX, LLC,
a Delaware limited liability company



Name: Cary Moon
Title: President

THE STATE OF TEXAS §
 §
COUNTY OF TARRANT §

This instrument was acknowledged before me on July 18, 2018, by Cary Moon, the President, of CENTER STREET COMPLEX, LLC, a Texas limited liability company, on behalf of said limited liability company.



Notary Public, State of Texas

DOCUMENT PREPARED BY:

Husch Blackwell LLP
2001 Ross Avenue, Suite 2000
Dallas, Texas 75201
Attention: W. Brian Memory

Unofficial Copy

Exhibit "A" to the Deed

Legal Description

Lot 2R1A, Block 2, of Original Town of Arlington, an addition to the City of Arlington, Tarrant County, Texas, according to the Map or Plat thereof recorded in/under Clerk's File No. D216177186, Map/Plat Records, Tarrant County, Texas.

Unofficial Copy

Exhibit "A"

Exhibit "B" to the Deed

Permitted Exceptions

1. Restrictive covenants recorded in/under Clerk's File No. D216177186, Map/Plat Records, Tarrant County, Texas. (Provisions, if any, based on race, color, religion, sex, handicap, familial status or national origins are nullified.)
2. Standby fees, taxes and assessments by any taxing authority for the year 2018 and subsequent years.
3. Terms, conditions, provisions and stipulations of Off-Premise Parking Agreement, by and between City of Arlington and Center Street Station, LLC, dated 12/22/2008, filed 01/16/2009, recorded in/under Clerk's File No. D209012721, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.
4. Terms, conditions, provisions and stipulations of Off-Premise Parking Agreement, by and between City of Arlington and Center Street Station, LLC, dated 12/18/2008, filed 01/16/2009, recorded in/under Clerk's File No. D209012722, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.
5. Terms, conditions, provisions and stipulations of Mutual Covenant to Maintain Private Water Lines, by and between Center Street Station and City of Arlington, dated 11/13/2009, filed 12/10/2009, recorded in/under Clerk's File No. D209322285, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.
6. Terms, conditions, provisions and stipulations of Parking Agreement, by and between Center Street Station Downtown, LLC and CSSD Mushroom LLC, dated 03/11/2011, filed 04/25/2011, recorded in/under Clerk's File No. D211095535, Real Property Records, Tarrant County, Texas. As amended by First Amendment to Parking Agreement, by and between Center Street Station Downtown, LLC and RAH Arlington, LLC, effective 05/30/2013, filed 05/31/2013, recorded in/under Clerk's File No. D21138798, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.
7. Terms, conditions, provisions and stipulations of First Amendment Off-Premise Parking Agreement, by and between City of Arlington, Center Street Station, LLC and CCSD Mushroom LLC, effective 07/19/2011, filed 11/04/2011, recorded in/under Clerk's File No. D211269338, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.

Exhibit "B"

8. Terms, conditions, provisions and stipulations of Off-Premise Parking Agreement, by and between City of Arlington and Center Street Station, LLC, effective 07/19/2011, filed 11/04/2011, recorded in/under Clerk's File No. D211269339, Real Property Records, Tarrant County, Texas, and as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.
9. The location of sidewalk, as shown on survey dated 05/14/2018 prepared by David Carlton Lewis RPLS No. 5647 of Spry Surveyors, Project No. 016-018-11.

Unofficial Copy

Exhibit "D-1"

Staff Agenda Report

Agenda Subject: Discussion and possible action on a replat re-plat for property described as Lot 2R, Block 1 of Dalworthington Gardens Addition, Dalworthington Gardens, Tarrant County, Texas otherwise known as 3428 W. Arkansas Lane Dalworthington Gardens, Tarrant County, Texas

Background Information: Section 1.02.151 of the City's Code of Ordinance states the purpose of a replat is to revise or subdivide any part or all of any block or previously platted subdivision, addition, or lot.

On November 16, 2023, John W. Guerin submitted a replat application for property described as Lot 2R, Block 1 of Dalworthington Gardens Addition, Dalworthington Gardens, Tarrant County, Texas otherwise known as 3428 W. Arkansas Lane Dalworthington Gardens, Tarrant County, Texas. The plat application was forwarded to the city engineer for review. On December 4, 2023, the city engineer conducted his final review of the plat and determined the plat conforms with the City's ordinance and recommended approval of the plat.

Local Government Code , Chapter 212, states plats that satisfy all applicable regulations must be approved. The proposed plat satisfies all requirements of city ordinance. As such, staff recommends approval of this plat

Recommended Action/Motion: Motion to approve a replat application from John W. Guerin for property described as Lot 2R, Block 1 of Dalworthington Gardens Addition, Dalworthington Gardens, Tarrant County, Texas otherwise known as 3428 W. Arkansas Lane Dalworthington Gardens, Tarrant County, Texas

Attachments:

Plat Application

Email confirming approval

Civil Site Plans for New Parking Lot Paving



COPY

PLAT Application

CITY OF DALWORTHINGTON GARDENS

2600 Roosevelt
TEL 817-274-7368 FAX 817-265-4401
www.cityofdwcg.net

Replat Amending Plat Preliminary Plat Final Plat

Applicant's Name: John W Guerin

Address: 3428 W. Arkansas Ln.

Applicant Contact Number: 817-614-0383

Applicant Email: john@a-genterprises.com

Surveyor: Peiser & Mankin Surveying

Address: 1612 Hart St. Suite 201 Southlake TX 76092

RECEIVED
NOV 15 2023
BY: C. Newberry

I have purchased or have access to the City of Dalworthington Gardens Subdivision Ordinance which specifies requirements for plat submissions.

Yes No

The attached submission complies with all applicable requirements of the City Subdivision Ordinance.

Yes No

Signature [Handwritten Signature] John W Guerin

Date 11-14-23

For Office Use Only

Fee: \$3000.00 Date Paid: 11/16/2023 Receipt # CC247635

P & Z Scheduled: _____ Public Hearing Published: _____

Council Scheduled: _____ Public Hearing Published: _____

Pro-Rata Paid: \$ _____ Date: _____



CIVIL SITE PLANS FOR NEW PARKING LOT PAVING

MONTESSORI ACADEMY OF ARLINGTON
3428 W. ARKANSAS LANE
DALWORTHINGTON GARDENS, TX 76016
LOT 2R, BLOCK 1, 13.675 ACRES
DALWORTHINGTON GARDENS ADDITION

OWNER/ DEVELOPER

CONTACT: MONTESSORI ACADEMY OF ARLINGTON INC
ADDRESS: 2016 GRAND PARK PLACE LANE
FLOWER MOUND, TX 75028
PHONE NUMBER: 817-274-1548

CONTRACTOR

GUERIN'S A&G ENTERPRISES
CONTACT: JOHN GUERIN
ADDRESS: 1105 MERIWETHER ST.
MANSFIELD, TX. 76063
PHONE NUMBER: (817) 641-0383
EMAIL: john@a-genterprises.com

DESIGN ENGINEER

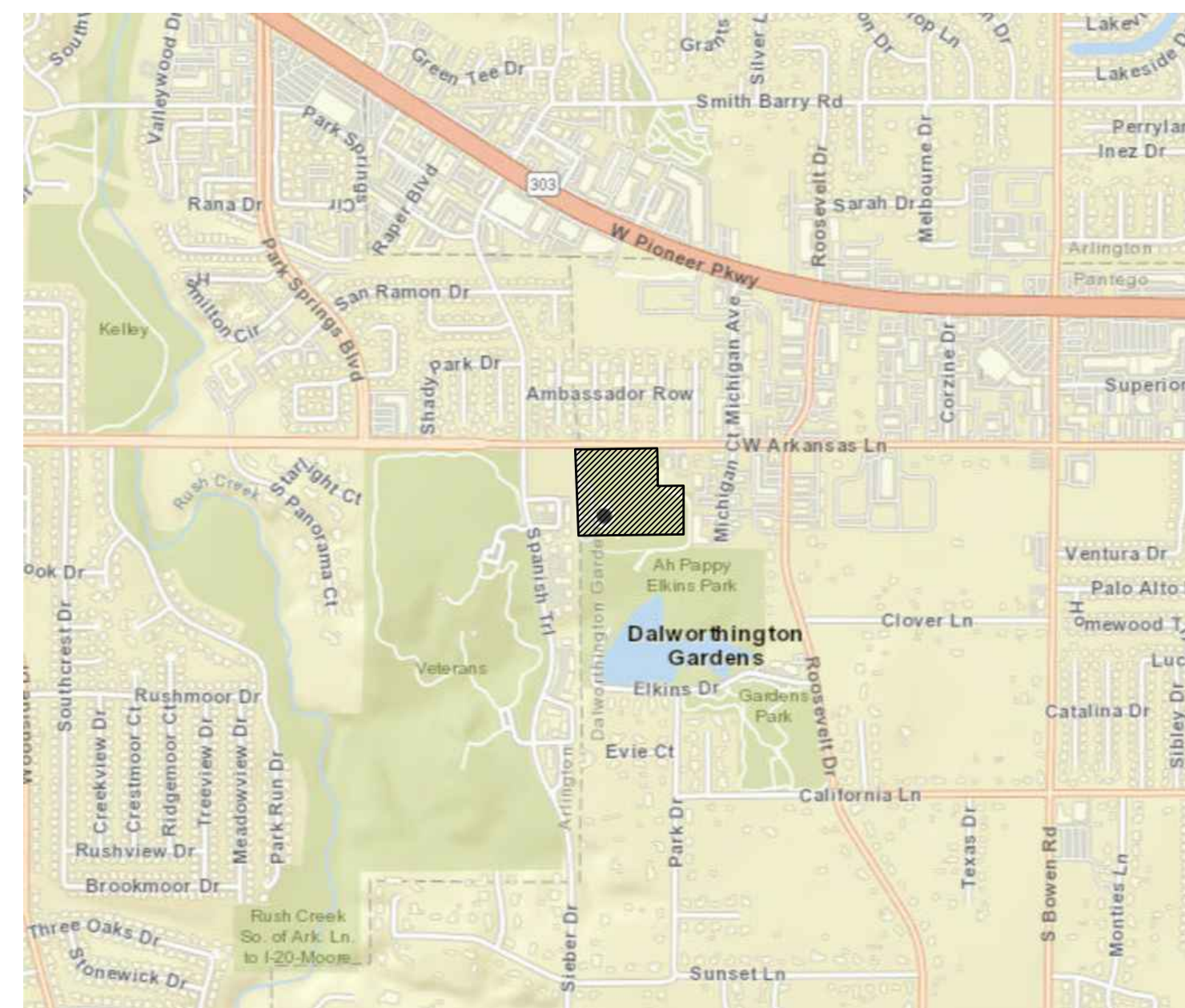
CONTACT: THOMAS GRAHAM, PE
ADDRESS: 2600 CINNAMON PARK CIR. #616
ARLINGTON, TX. 76016
PHONE NUMBER: (817) 966-7388
EMAIL: engineerdsc@gmail.com

INDEX OF SHEETS

SHEET	DESCRIPTION
C0	COVER SHEET
C0.1	FINAL PLAT
C1.0	SITE / DIMENSIONAL PLAN
C2.0	GRADING PLAN
C3.0	DRAINAGE PLAN
C4.0	PAVING PLAN
C4.1	PAVING DETAILS
C5.0	EROSION CONTROL PLAN
C5.1	EROSION CONTROL DETAILS

CODE DESIGN SUMMARY

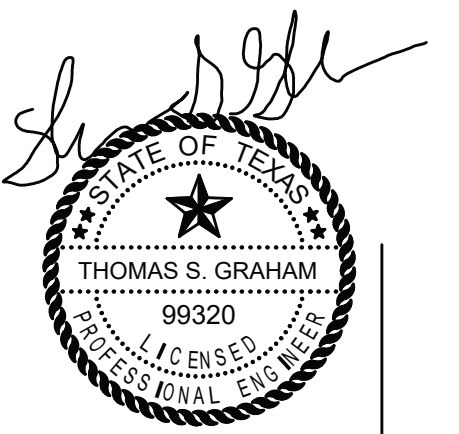
IBC	2021
IECC	2021
IFC	2021
IPC	2021
IMC	2021
NEC	2017

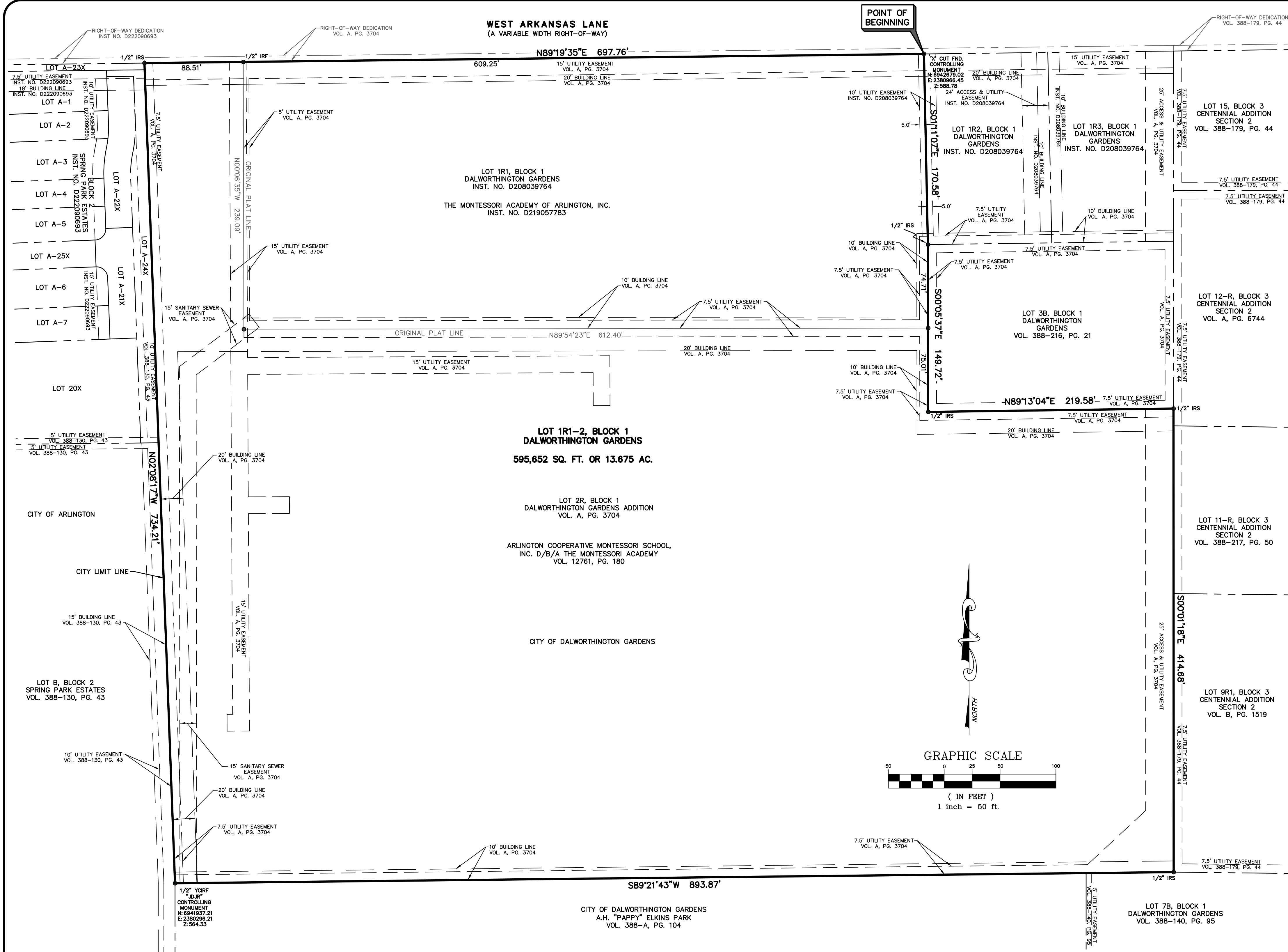


Site Map

This set does not contain a landscape plan. Recommend checking with the City to see if this parking lot expansion meets the City's requirements for landscaping.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THOMAS S. GRAHAM, P.E. 99320 ON 10/27/2023





STATE OF TEXAS:
COUNTY OF TARRANT:

WHEREAS ARLINGTON COOPERATIVE Montessori School Inc. and The Montessori Academy of Arlington, Inc., are the sole owners of that certain tract of land situated in the L. Randall Survey, Abstract No. 1311, City of Dalworthington Gardens, Tarrant County, Texas, and being all of Lot 1R1, Block 1, Dalworthington Gardens, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Instrument Number D208039764, Official Public Records, Tarrant County, Texas, and being all of Lot 2R, Block 1, Dalworthington Gardens Addition, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume A, Page 3704, Map Records, Tarrant County, Texas, same being all that certain tract of land conveyed to Arlington Cooperative Montessori School, Inc., d/b/a The Montessori Academy, by General Warranty Deed recorded in Volume 12761, Page 180, Deed Records, Tarrant County, Texas, same being all that certain tract of land conveyed to The Montessori Academy of Arlington, Inc., by Special Warranty Deed recorded in Instrument Number D219057783, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at an 'X' cut found for the northeast corner of said Lot 1R1, same being the northwest corner of Lot 1R2, said Block 1, Dalworthington Gardens, Instrument Number D208039764, said Official Public Records, same being in the south right-of-way line of West Arkansas Lane (a variable width right-of-way);

THENCE South 01 deg. 11 min. 07 sec. East, along the common line of said Lot 1R1 and said Lot 1R2, a distance of 170.58 feet to a 1/2 inch iron rod with red plastic cap stamped "Peiser & Mankin SURV" set (hereinafter referred to as 1/2 inch iron rod set) for angle point, same being the southwest corner of said Lot 1R2, same being the northwest corner of Lot 3B, Block 1, Dalworthington Gardens, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-216, Page 21, Map Records, Tarrant County, Texas;

THENCE South 00 deg. 05 min. 37 sec. East, along the common line of said Lot 1R1 and said Lot 3B, passing at a distance of 74.71 feet the southeast corner of said Lot 1R1, same being a northeast corner of aforesaid Lot 2R, and continuing along the common line of said Lot 2R and said Lot 3B, a total distance of 149.72 feet to a 1/2 inch iron rod set for internal corner, same being the southwest corner of said Lot 3B;

THENCE North 89 deg. 13 min. 04 sec. East, continuing along the common line of said Lot 2R and said Lot 3B, a distance of 219.58 feet to a 1/2 inch iron rod set for the most easterly northeast corner of said Lot 2R, same being the southeast corner of said Lot 3B, same being in the west line of Lot 12-R, Block 3, Centennial Addition Section 2, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume A, Page 6744, Map Records, Tarrant County, Texas;

THENCE South 00 deg. 01 min. 18 sec. East, along the common line of said Lot 2R and said Lot 12-R, passing the southwest corner of said Lot 12-R, same being the northwest corner of Lot 11-R, Block 3, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-217, Page 50, Map Records, Tarrant County, Texas, and continuing along the common line of said Lot 2R and said Lot 11-R, passing the southwest corner of said Lot 11-R, same being the northwest corner of Lot 9R1, Block 3, Centennial Addition Section 2, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume B, Page 1519, Map Records, Tarrant County, Texas, and continuing along the common line of said Lot 2R and said Lot 9R1, a total distance of 414.68 feet to a 1/2 inch iron rod set for the southeast corner of said Lot 2R, same being the southwest corner of said Lot 9R1, same being in the north line of Lot 7B, Block 1, Dalworthington Gardens, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-140, Page 95, Map Records, Tarrant County, Texas;

THENCE South 89 deg. 21 min. 43 sec. West, along the common line of said Lot 2R and said Lot 7B, passing the northwest corner of said Lot 7B, same being the northeast corner of City of Dalworthington Gardens A.H. "Pappy" Elkins Park, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-A, Page 104, Map Records, Tarrant County, Texas, and continuing along the common line of said Lot 2R and said City of Dalworthington Gardens A.H. Pappy, a total distance of 893.87 feet to a 1/2 inch iron rod with yellow plastic cap stamped "JDJR" found for the southwest corner of said Lot 2R, same being the northwest corner of City of Dalworthington Gardens A.H. Pappy, same being in the east line of Lot B, Block 2, Spring Park Estates, an addition to the City of Arlington, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-130, Page 43, Map Records, Tarrant County, Texas;

THENCE North 02 deg. 08 min. 17 sec. West, along the common line of said Lot 2R and said Lot B, passing the northeast corner of said Lot B, same being the southeast corner of Lot A-24X, Block 2, Spring Park Estates, an addition to the City of Arlington, Tarrant County, Texas, according to the plat thereof recorded in Instrument Number D222090693, Official Public Records, Tarrant County, Texas, and continuing along the common line of said Lot 2R and said Lot A-24X, passing the northeast corner of said Lot A-24X, same being the southeast corner of Lot A-23X, said Block 2, Spring Park Estates, Instrument Number D222090693, and continuing along the common line of said Lot 2R and said Lot A-23X, a total distance of 734.21 feet to a 1/2 inch iron rod set for the northwest corner of said Lot 2R, same being the northeast corner of said Lot A-23X, same being in the south right-of-way line of aforesaid West Arkansas Lane;

THENCE North 89 deg. 19 min. 35 sec. East, along the common line of said Lot 2R and said West Arkansas Lane, passing at a distance of 88.51 feet, a 1/2 inch iron rod found for the most northerly northeast corner of said Lot 2R, same being the northeast corner of aforesaid Lot 1R1, and continuing along the common line of said Lot 1R1 and said West Arkansas Lane, a total distance of 697.76 feet to the POINT OF BEGINNING and containing 595,652 square feet or 13.675 acres of computed land, more or less.

STATE OF TEXAS
COUNTY OF TARRANT

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT The Montessori Academy of Arlington, Inc. and Arlington Cooperative Montessori, acting by and through their duly authorized agent, do hereby adopt this plat designating the herein described real property as **DALWORTHINGTON GARDENS ADDITION**, an addition to the City of Dalworthington Gardens, Tarrant County, Texas, and do hereby dedicate to the public's use forever, the streets and easements shown hereon to the public's use unless otherwise noted.

Witness my hand this the _____ day of _____, 2023

By: _____
[Name], [Title]

State of Texas:
County of _____

Before me, the undersigned authority, a notary public in and for said county and state, on this day personally appeared _____, known to me to be the person or persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary Public in and for _____ County

Witness my hand this the _____ day of _____, 2023

By: _____
[Name], [Title]

State of Texas:
County of _____

Before me, the undersigned authority, a notary public in and for said county and state, on this day personally appeared _____, known to me to be the person or persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary Public in and for _____ County

SURVEYOR'S STATEMENT

I, TIMOTHY R. MANKIN, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the rules and regulations of the Texas Board of Professional Engineers and Land Surveyors, and Texas Local Government Code, Chapter 212.

PRELIMINARY-FOR CITY REVIEW ONLY RELEASED ON 9/5/2023

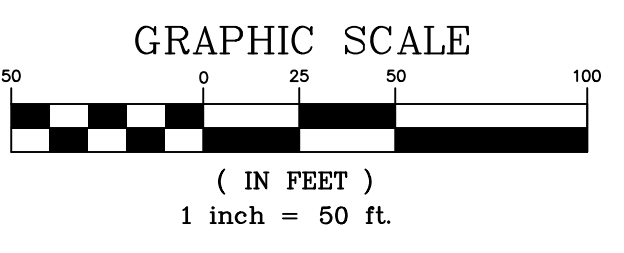
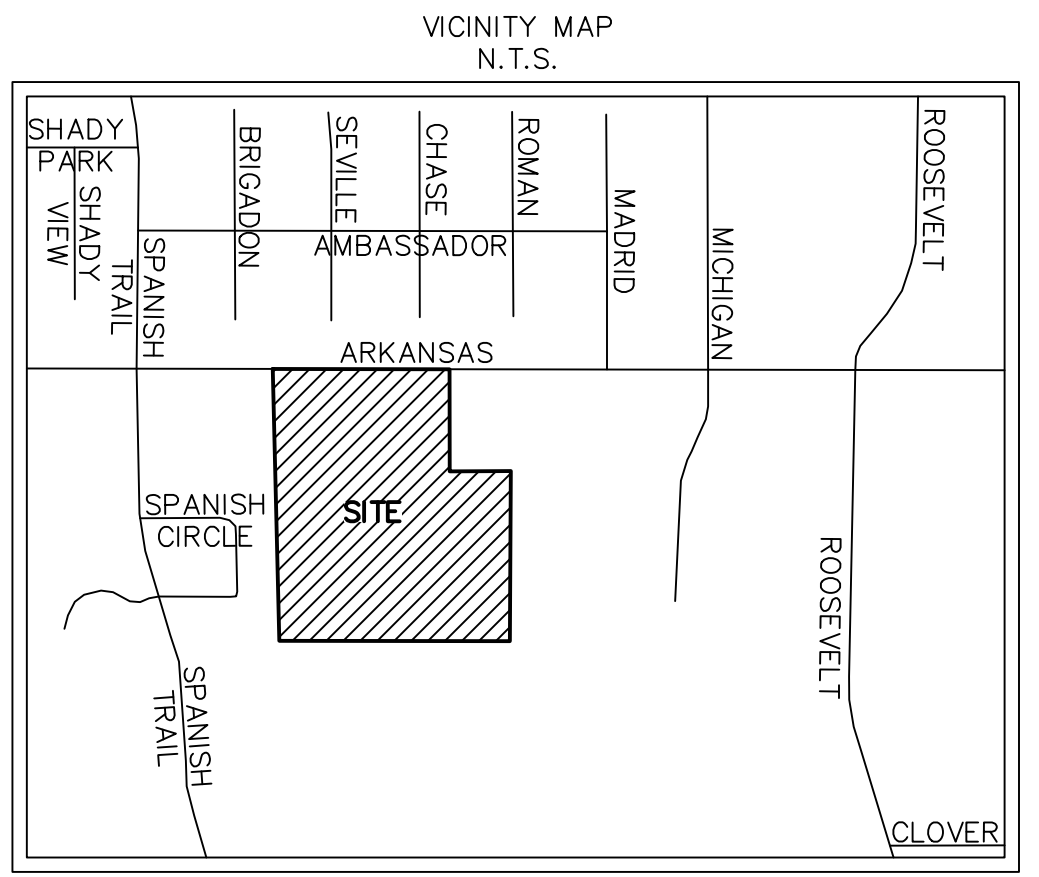
TIMOTHY R. MANKIN DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 6122

State of Texas:
County of Tarrant:
Before me, the undersigned authority, a notary public in and for said county and state, on this day personally appeared Timothy R. Mankin, known to me to be the person or persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity herein stated.
Given under my hand and seal of office, this ____ day of _____, 2023.

Notary Public in and for Tarrant County

- NOTES:
1. IRF - Iron Rod Found
 2. YCIRF - Iron Rod Found with yellow plastic cap
 3. IRS - Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 4. Basis of Bearing - Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Allterra Central's Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods. An average Combination Factor of 1.00013246 was used to scale grid coordinates and distances to surface.
 5. Visibility Triangles shall be provided at all public or private street intersections in accordance with City Ordinance. All landscaping (nothing over 2 feet in height as measured from the top of curb) within the visibility triangles shall comply with the Visibility Ordinance.
 6. This property may be subject related to impact fees and the applicant should contact the City of Dalworthington Gardens regarding any applicable fees due.
 7. This plat does not alter or remove deed restrictions or covenants, if any on this property.

FLOOD CERTIFICATE
As determined by the FLOOD INSURANCE RATE MAPS for Tarrant County, the subject property Does Not appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 9/25/2009 Community Panel No. 4843900335K subject lot is located in Zone "X".
If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.



REPLAT/MINOR PLAT
**LOT 1R1-2, BLOCK 1
DALWORTHINGTON GARDENS ADDITION**

BEING A REPLAT OF LOT 1R1, BLOCK 1, DALWORTHINGTON GARDENS ADDITION, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NUMBER D208039764, OFFICIAL PUBLIC RECORDS OF TARRANT COUNTY, TEXAS & LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS, AN ADDITION OF CITY OF DALWORTHINGTON GARDENS, ACCORDING TO THE PLAT RECORDED IN VOLUME A, PAGE 3704, PLAT RECORDS OF TARRANT COUNTY, TEXAS

JOB NO.:	23-0804	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET 1
DATE:	9/5/2023		
FIELD DATE:	8/28/2023	1612 HART STREET SUITE 200 SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
SCALE:	1" = 50'		
FIELD:	A.R.M.	MAIL@MEENGINEER.COM	Texas Surveyors Professional Member Since 1977
DRAWN:	J.M.N.		
CHECKED:	T.R.M.	FIRM No. 100999-00	1

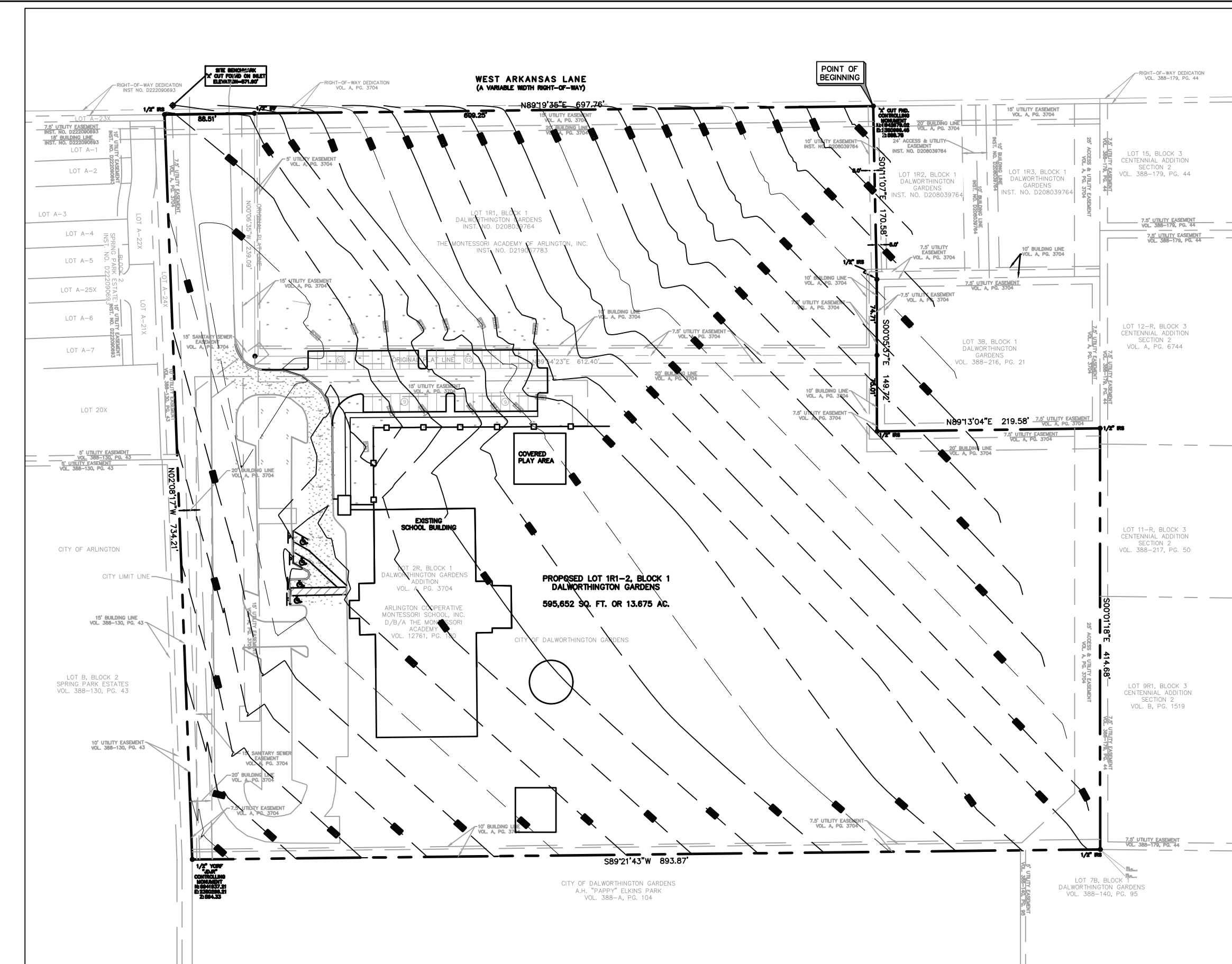
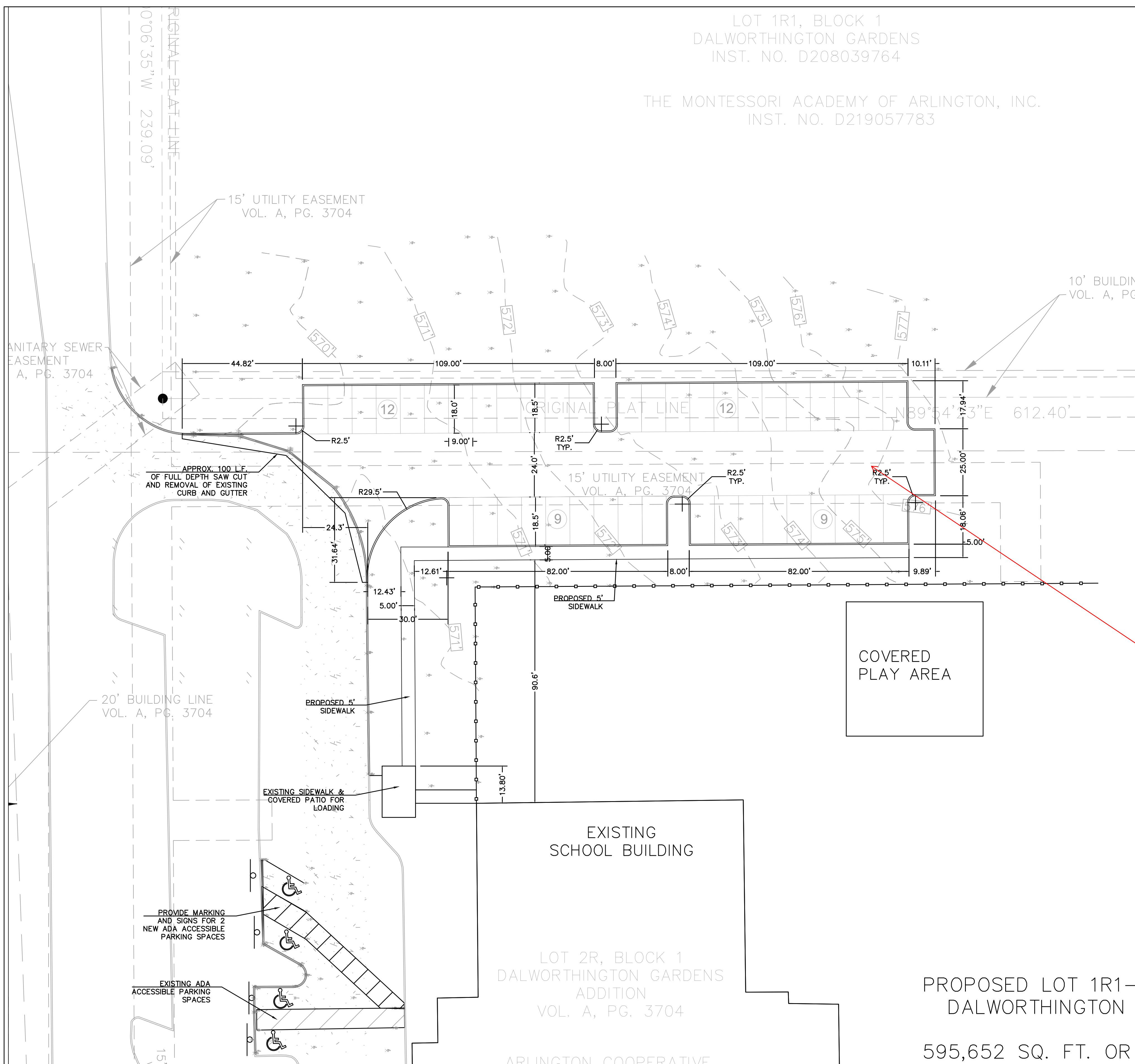
OWNER LOT 1R1:
MONTESSORI ACADEMY OF ARLINGTON INC
3428 W ARKANSAS LANE
ARLINGTON, TEXAS 76016

OWNER LOT 2R:
ARL COOP MONTESSORI
SCHOOL INC
3428 W ARKANSAS LANE
ARLINGTON, TEXAS 76016

ENGINEER:
AME ENGINEERING, INC
3825 W GREEN OAKS BLVD
SUITE 200
ARLINGTON, TEXAS 76016
817-653-4122

LOT 1R1, BLOCK 1
DALWORTHINGTON GARDENS
INST. NO. D208039764

THE MONTESSORI ACADEMY OF ARLINGTON, INC.
INST. NO. D219057783



There are multiple utility easements in the area where the parking lot is proposed to be located. There's a City water tower just east of this site so i would assume that at least some of these easements are for water but I do not have any information as to whether or not any private franchise utility easements may be present as well. If any private utilities are present in these easements I recommend verifying that they do not have a problem with new paving in the easements. I have seen conflicts of this nature before requiring removal of new paving.

North arrow appears to be missing from this sheet, recommend adding it.

According to the cover sheet, and checking the web, the address of this school is 3428 W. Arkansas Lane. Revise if needed (typ. all sheets).

BENCHMARK:
At x cut in top of curb inlet just inside of R.O.W. at northwest corner of this property.

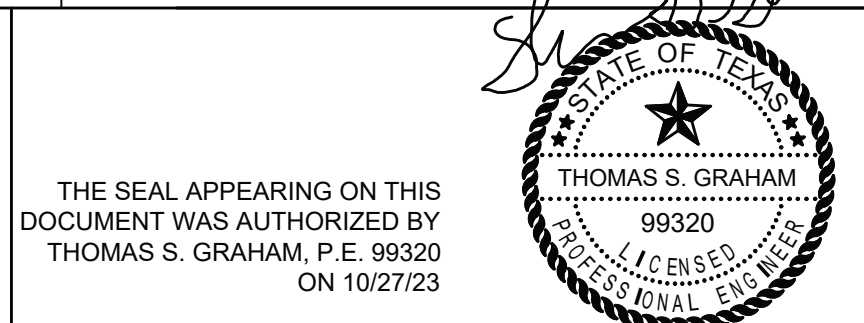
Actual elevation 571.90'

C1.0 SITE AND DIMENSIONAL PLAN
SCALE: N.T.S.

CONTRACTOR TO CONTACT ALL UNDERGROUND UTILITY COMPANIES PRIOR TO BEGINNING OF ANY EXCAVATION WORK. EXERCISE CAUTION WHEN WORKING IN AREA NEAR OVERHEAD ELECTRIC LINES

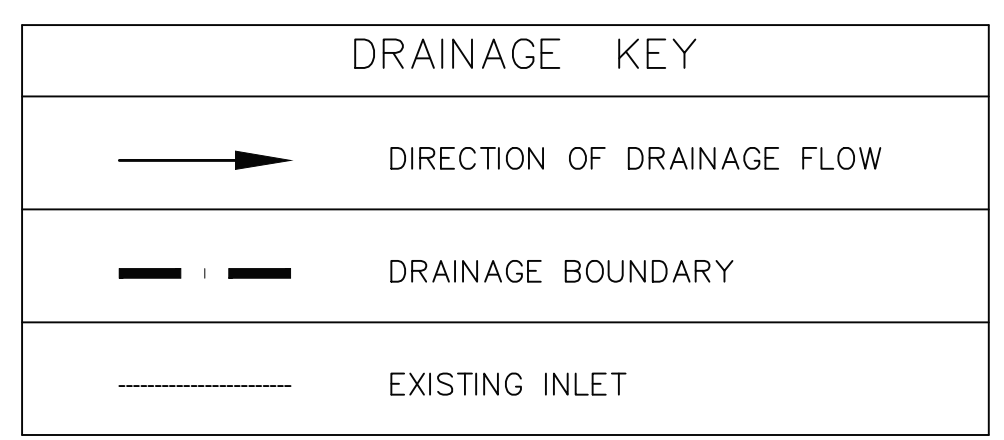
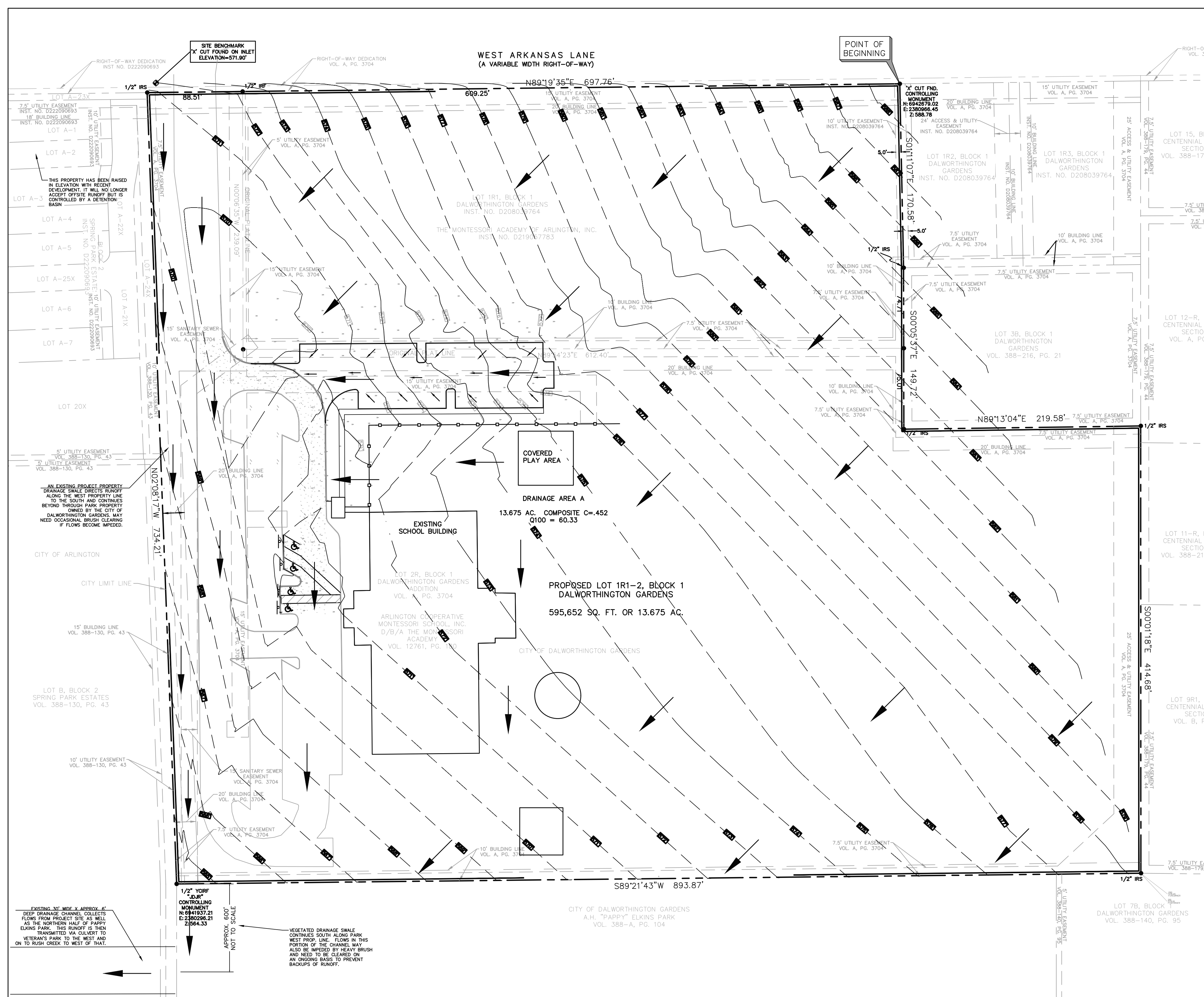
REVISIONS		
#	DATE	DESCRIPTION
1		

THOMAS S. GRAHAM, PE
2600 CINNAMON PARK CIR., #616
ARLINGTON, TEXAS 76016
OFFICE / CELL: (817) 966-7388
email: engineerds@gmail.com



PARKING LOT PAVING ADDITION
2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
13.675 ACRES, LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS ADDN.
CONTACT NAME: JOHN GUERIN, CONTRACTOR
CONTACT COMPANY: A & G ENTERPRISES
CONTACT PHONE: 817-641-0383

PROJECT NO. 23-531
SHEET NUMBER **C1.0**



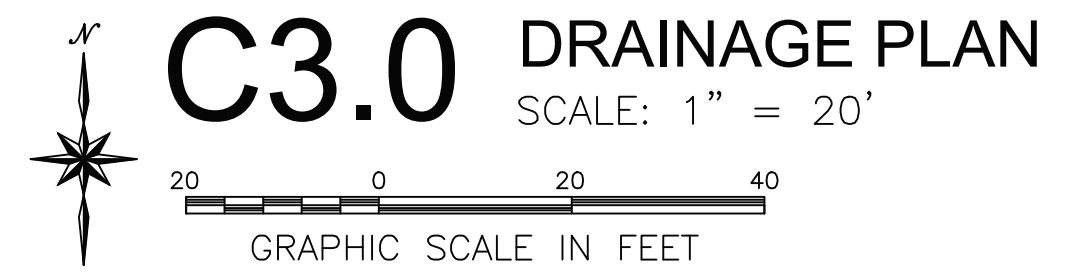
	EXISTING	PROPOSED
SITE AREA	13.675 AC.	13.675 AC.
IMPERVIOUS	1.85 AC.	2.15 AC.
PERVIOUS	11.825 AC.	11.53 AC.
% IMPERVIOUS	13.5%	15.7%
% PERVIOUS	86.5%	84.3%

- DRAINAGE NOTES:
- EXISTING DRAINAGE CALCULATION FOR THE SITE USING A COMPOSITE RUNOFF "C" MOST ACCURATELY ESTIMATES PRESENT RAIN RUNOFF CONDITIONS. Q100 FLOW RESULT OF 58.33 CFS.
 - PROPOSED COMPOSITE CALCULATIONS YIELD A Q100 = 60.33 CFS. THE RESULT IS A SMALL INCREASE IN TOTAL SITE RUNOFF OF 2.0 CFS WHICH IS AN INCREASE OF 3.3% OVER PRE-DEVELOPMENT FLOWS.
 - THE DRAINAGE CALCULATIONS ARE BY THE RATIONAL METHOD OF $Q = C \cdot I \cdot A$. COMPOSITE C VALUES WERE CALCULATED USING A C=1.0 FOR ALL PAVED AREAS AND C=.35 FOR ALL UNPAVED PORTIONS OF THE SITE. THIS IS A CONSERVATIVE CALCULATION FOR SIMPLICITY.
 - THE TYPICAL C=.70 AND THE RAINFALL INTENSITY (I) VALUES WERE TAKEN FROM THE CHARTS IN THE 2020 EDITION OF THE ISWM MANUAL FOR THE DFW AREA. THIS SET OF VALUES ARE INCLUDED TO ILLUSTRATE HOW COMPOSITE "C" VALUE CALCULATIONS ARE MORE REALISTIC TO ACTUAL CONDITIONS.

DRAINAGE CALCULATIONS										
AREA#	A	CxCa	Tc	I10	Q10	I25	Q25	I100	Q100	NOTES
EXISTING SITE COMPOSITE "C" CALCULATION										
A	13.675	0.44	10	6.51	38.90	7.78	46.49	9.76	58.33	(1)
PROPOSED SITE COMPOSITE "C" CALCULATION										
A	13.675	0.45	10	6.51	40.24	7.78	48.09	9.76	60.33	(2)
TYPICAL SITE "C" VALUES FOR NEIGHBORHOOD BUSINESS										
A	13.675	.70	10	6.51	62.32	7.78	74.47	9.76	93.43	(4)

*ESTABLISH AND MAINTAIN TEMPORARY BENCHMARK AT SITE DURING CONSTRUCTION

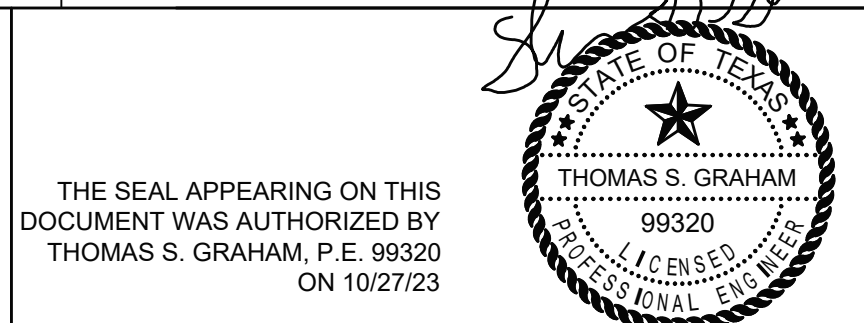
BENCHMARK:
At x cut in top of curb inlet just inside of R.O.W. at northwest corner of this property.
Actual elevation 571.90'



CONTRACTOR TO CONTACT ALL UNDERGROUND UTILITY COMPANIES PRIOR TO BEGINNING OF ANY EXCAVATION WORK. EXERCISE CAUTION WHEN WORKING IN AREA NEAR OVERHEAD ELECTRIC LINES

REVISIONS		
#	DATE	DESCRIPTION
1		

THOMAS S. GRAHAM, PE
2600 CINNAMON PARK CIR., #616
ARLINGTON, TEXAS 76016
OFFICE / CELL: (817) 966-7388
email: engineerdsc@gmail.com

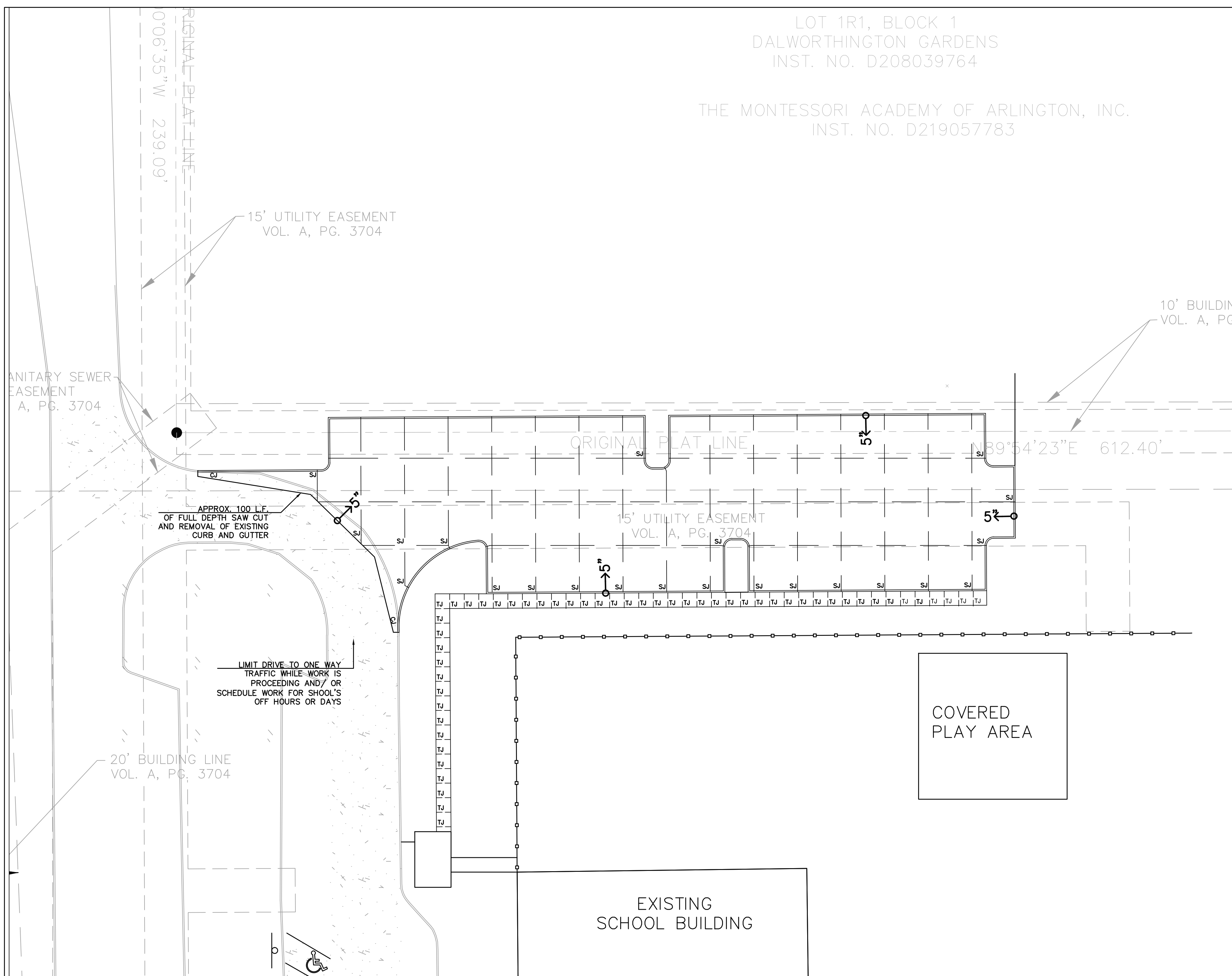


PARKING LOT PAVING ADDITION
2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
13.675 ACRES, LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS ADDN.
CONTACT NAME: JOHN GUERIN, CONTRACTOR
CONTACT COMPANY: A & G ENTERPRISES
CONTACT PHONE: 817-641-0383

PROJECT NO. 23-531
SHEET NUMBER C3.0

LOT 1R1, BLOCK 1
DALWORTHINGTON GARDENS
INST. NO. D208039764

THE MONTESSORI ACADEMY OF ARLINGTON, INC.
INST. NO. D219057783



PAVING GENERAL NOTES

0. ANY CONFLICTS BETWEEN THE FOLLOWING NOTES AND THE INCLUDED CITY CONSTRUCTION NOTES ON SHEET C0.2 BE CONCEDED TO THE CITY'S NOTES UNLESS OTHERWISE ALLOWED AT THE DISCRETION OF THE CITY BUILDING INSPECTOR
1. Paving shall be as noted on the plans and as described below. The general guidelines for grading handicap pavement areas shall be no slope greater than 1:50 in the parking lot spaces. Sidewalks shall have no longitudinal slope greater than 1:20.
2. REINFORCED CONCRETE PAVEMENT:
 - A. ALL CONCRETE TO BE 3500 PSI MINIMUM.
 - B. IN ACCORDANCE WITH ACI 318.
 - C. BAR LAPS SHALL BE 30 DIAMETERS.
 - D. REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS OR OTHER DEVICES APPROVED BY THE OWNER.

SUBGRADE: (UNLESS OTHERWISE SPECIFIED BY OWNER)

 - A. STRIP ALL VEGETATION AND TOPSOIL
 - B. SCARIFY 8" OF SUBGRADE SOIL
 - C. WET SOIL TO FROM -1% TO +4% ABOVE OPTIMUM MOISTURE
 - D. COMPACT THE SOIL BASE TO 95% SOIL DENSITY, ASTM D-698
 - E. IF LIME IS USED, USE 4% DRY LIME BY WEIGHT MIXED INTO THE SOIL.
3. Control joints shall be cut into the concrete paving in the parking lot area at 15 foot intervals. Joints are to be 1-1/2" deep. Cut joints the next day after the pour. Wash and clean pavement after sawcutting to remove all sluff mud. Chipped edges along the sawcut will not be accepted. Fill all joints with a backer rod and sealant.
4. Joints should be continuous across the slab unless interrupted by full-depth preformed joint filler, and should extend completely.
5. All control joints, construction joints and isolations joints shall be sealed completely before opening lot to traffic.
6. Provide a preformed joint filler where concrete abuts building walls. Also wrap base of bollards with the same. Fill top of joint with sealant.
7. Parking lot striping are to be painted yellow. Fire lane striping is to be painted red with white letters stating, "Fire Lane No Parking" Handicap symbols are painted blue with white trim. Loading zone, HC spaces and crosswalk are painted yellow.
8. All exposed concrete paving, driveways and curbs are to receive a consistent, light and even broom finish before curing. Protect all work from inclement weather as well as protecting adjacent work from concrete spills, splashes and stains. Any work that is not acceptable to the Owner will be removed and replaced.

PAVEMENT LEGEND

- 5" → 6"** PAVEMENT THICKNESS
- EJ** EXPANSION JOINT
- CJ** CONSTRUCTION JOINT
- SJ** SAWED JOINT
- TJ** TOOLED JOINT

NEW PAVED AREA = 13,068 SQ. FT.

T=6" IN FIRELANE AREAS
WITH #4 REBARS @ 12" O.C.E.W.
T=5" IN PASSENGER VEHICLE AREAS
WITH #4 REBARS @ 18" O.C.E.W.

*ESTABLISH AND MAINTAIN
TEMPORARY BENCHMARK AT SITE
DURING CONSTRUCTION

BENCHMARK:
At x cut in top of curb inlet just inside of
R.O.W. at northwest corner of this property.

Actual elevation 571.90'



C4.0 PAVING PLAN
SCALE: 1"=20'

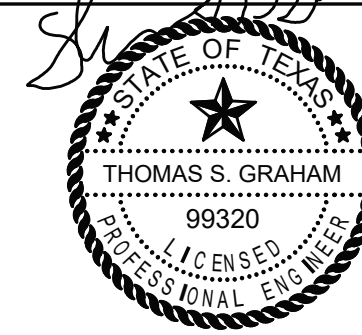


CONTRACTOR TO CONTACT
ALL UNDERGROUND UTILITY
COMPANIES PRIOR TO BEGINNING
OF ANY EXCAVATION WORK.
EXERCISE CAUTION WHEN WORKING
IN AREA NEAR OVERHEAD ELECTRIC LINES

REVISIONS		
#	DATE	DESCRIPTION
1		

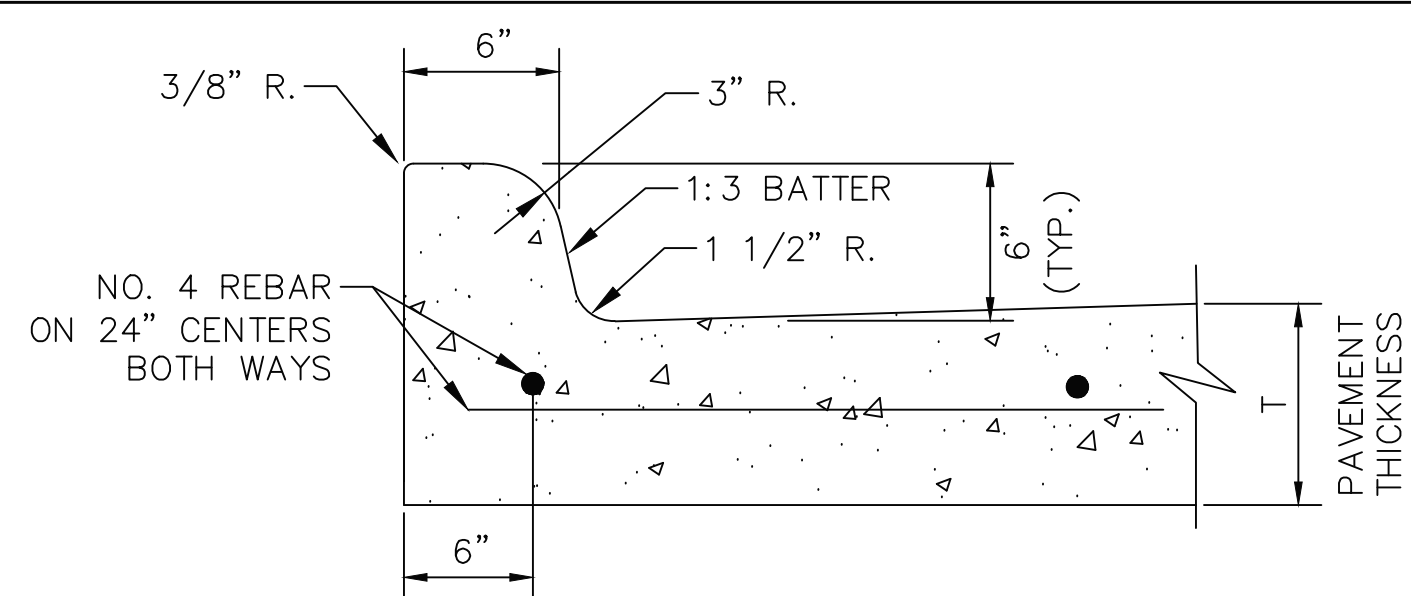
THOMAS S. GRAHAM, PE
2600 CINNAMON PARK CIR., #616
ARLINGTON, TEXAS 76016
OFFICE / CELL: (817) 966-7388
email: engineerdsc@gmail.com

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
THOMAS S. GRAHAM, P.E. 99320
ON 10/27/23



PARKING LOT PAVING ADDITION
2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
13.675 ACRES, LOT 2R, BLOCK 1,
DALWORTHINGTON GARDENS ADDN.
CONTACT NAME: JOHN GUERIN, CONTRACTOR
CONTACT COMPANY: A & G ENTERPRISES
CONTACT PHONE: 817-641-0383

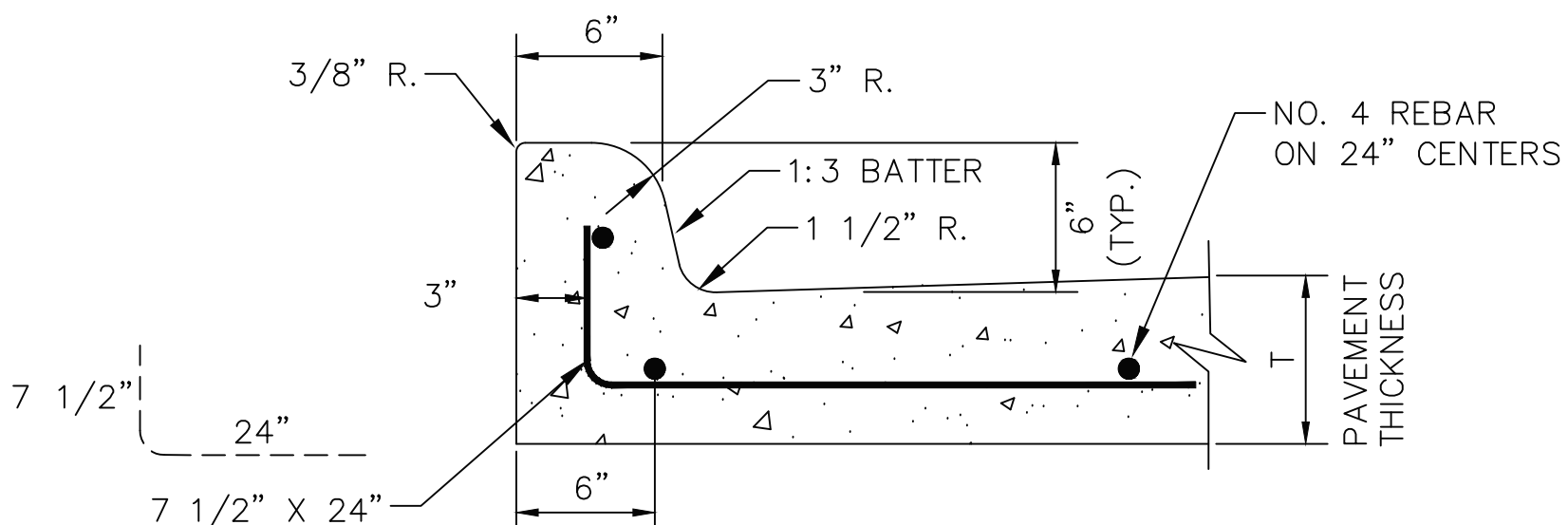
PROJECT NO. **23-531**
SHEET NUMBER
C4.0



MACHINE PLACEMENT

NOTE:

1. CONCRETE SHALL BE CLASS C, 5 1/2 SACK, 3600 PSI.



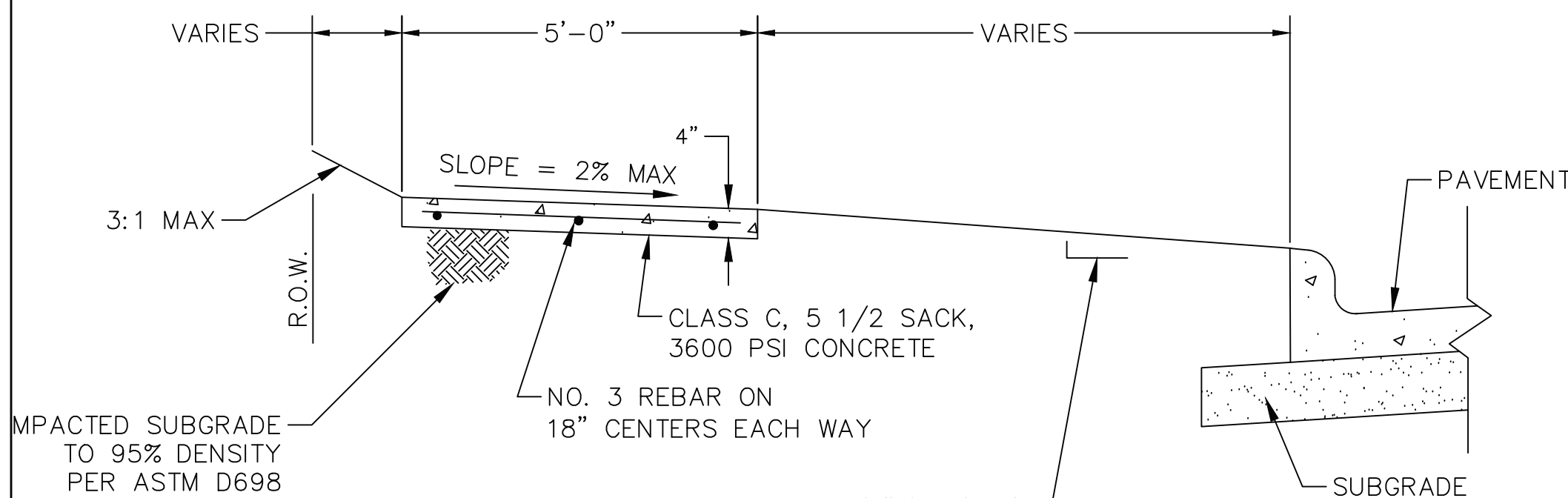
HAND PLACEMENT

NOTE:

1. CONCRETE SHALL BE CLASS C, 6 SACK, 3600 PSI.

INTEGRAL CONCRETE CURB & GUTTER

NTS REV: 6/20/17



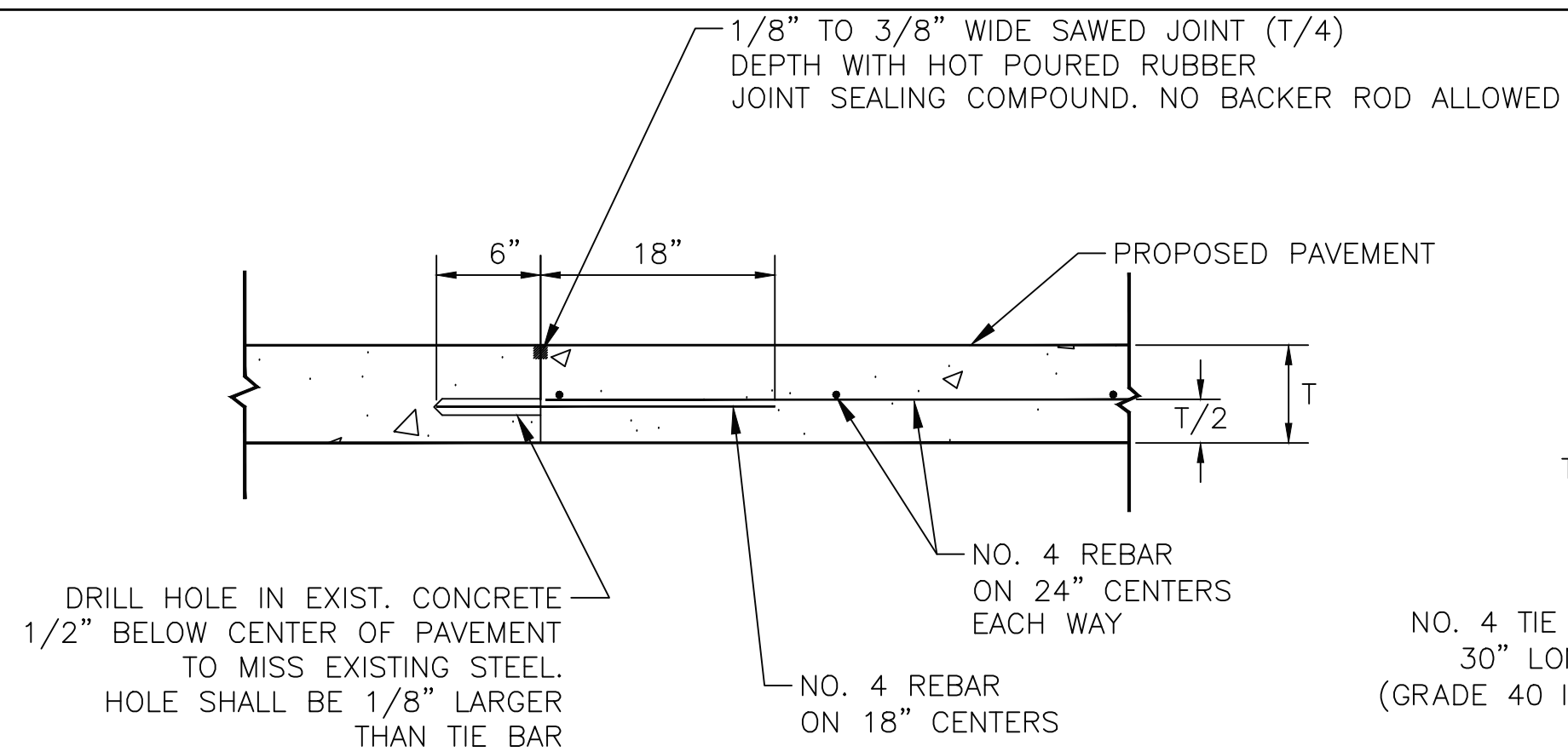
SLOPE MAY VARY FROM 1/4\"/>

NOTES:

1. TOOLED JOINT EVERY 4'.
2. EXPANSION JOINT EVERY 40'. (*SEE SIDEWALK EXPANSION JOINT DETAIL)

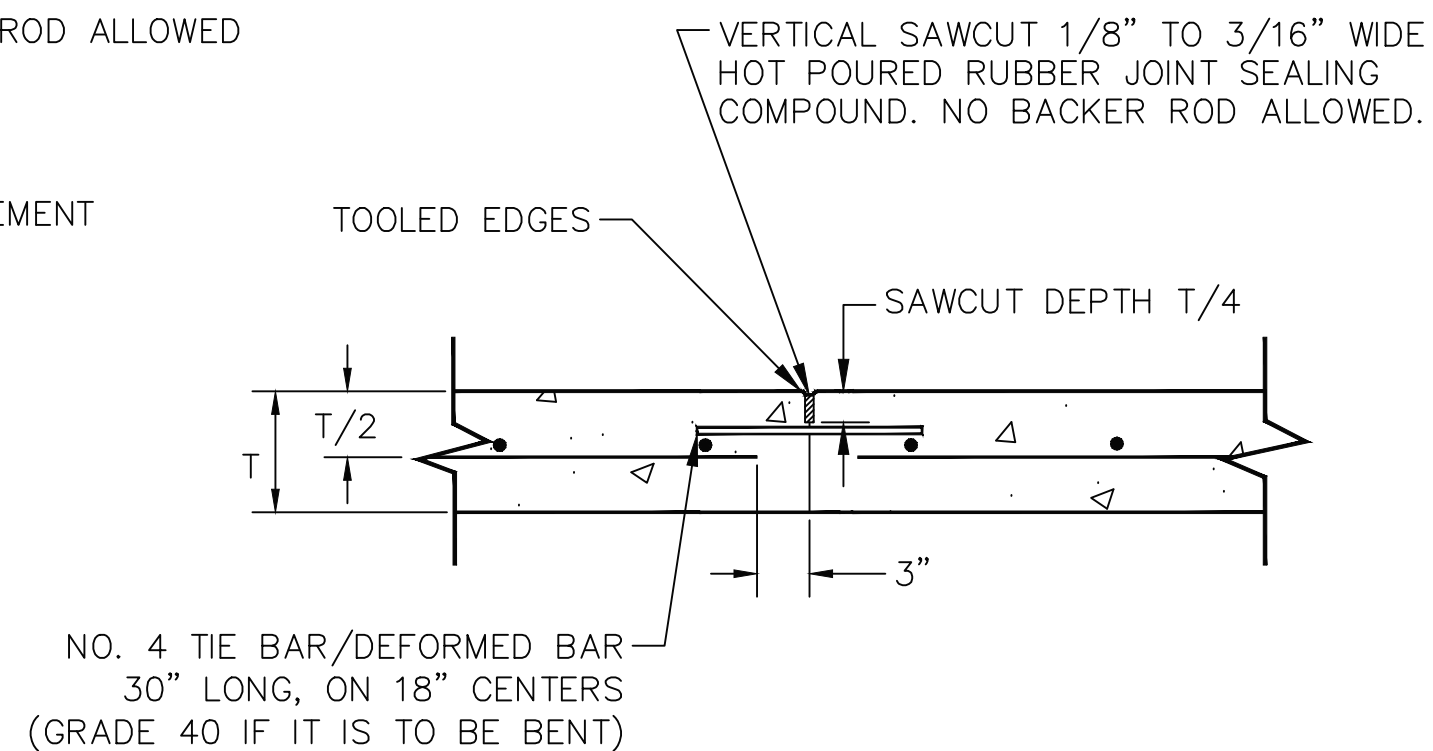
5 FOOT SIDEWALK

NTS REV: 8/8/17



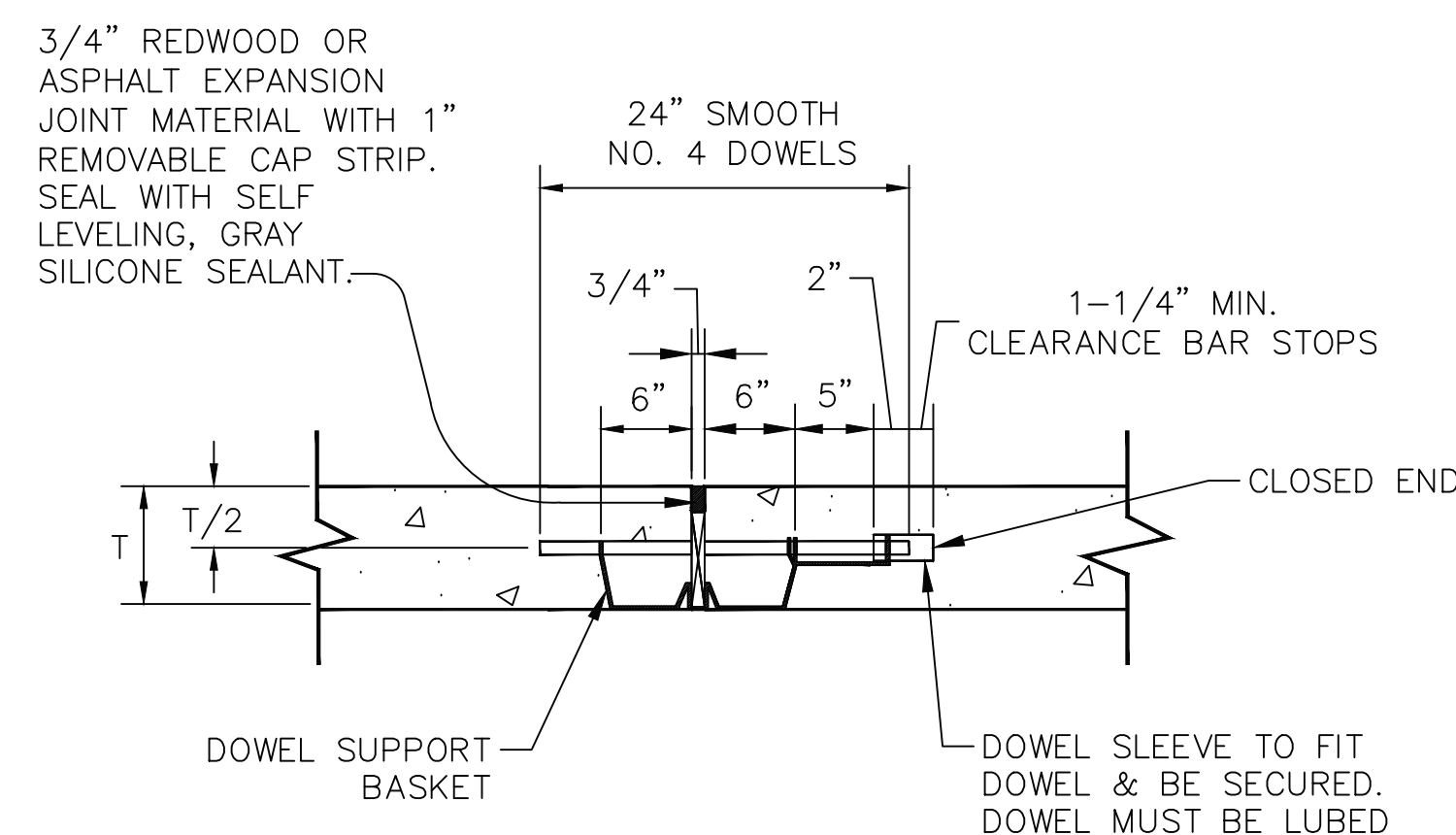
EPOXY TIE BAR - BUTT JOINT (EXISTING PAVEMENT TO PROPOSED)

NTS REV: 7/25/17



LONGITUDINAL CONTRACTION JOINT

NTS REV: 7/25/17

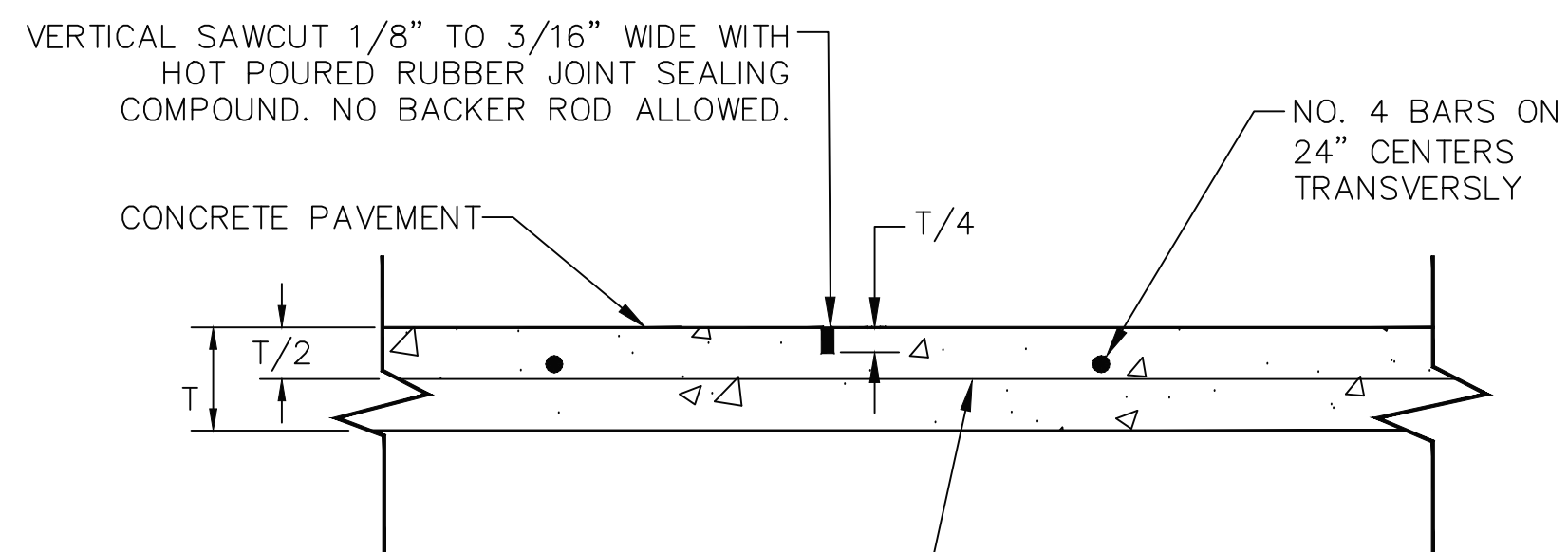


NOTES:

1. SPACING SHALL BE 12\"/>

SIDEWALK EXPANSION JOINT

NTS REV: 8/8/17

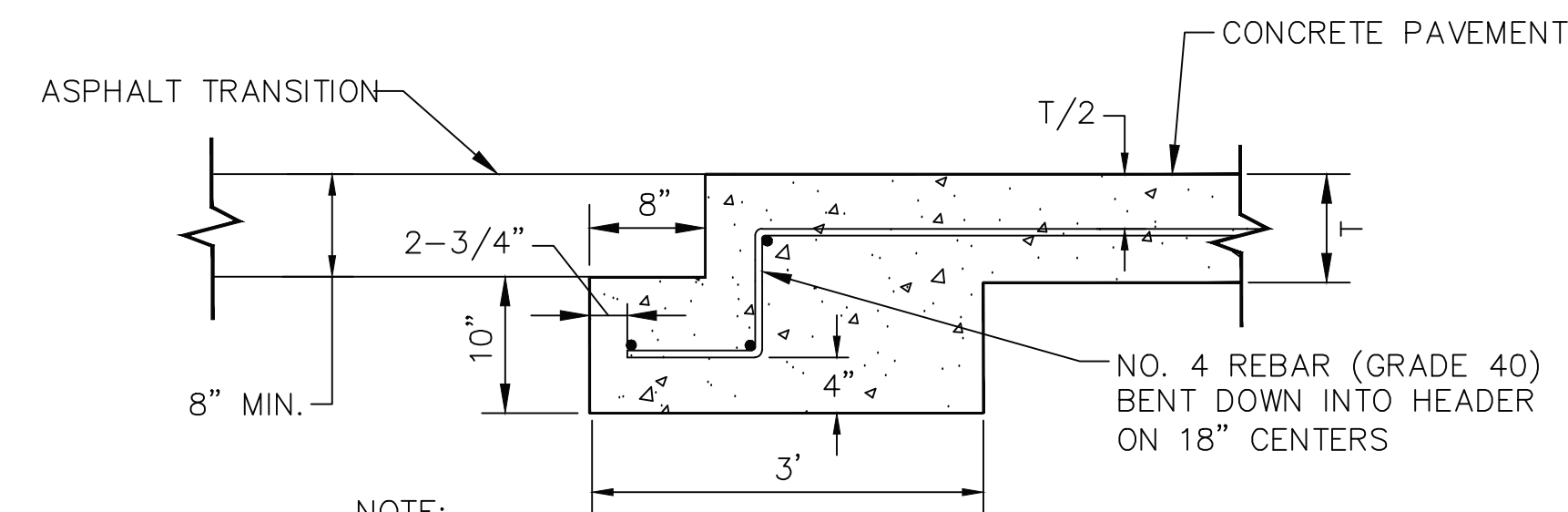


NOTE:

SAWED CONTRACTION JOINTS SHALL BE PLACED EVERY 15'.

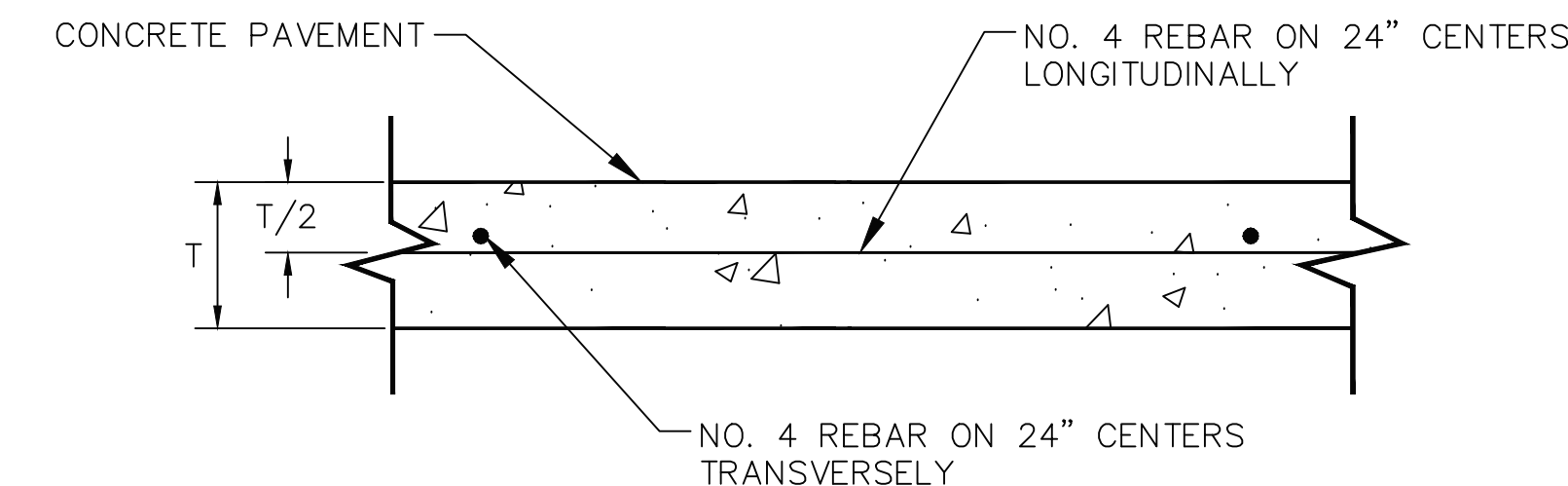
SAWED CONTRACTION JOINT

NTS REV: 8/8/17



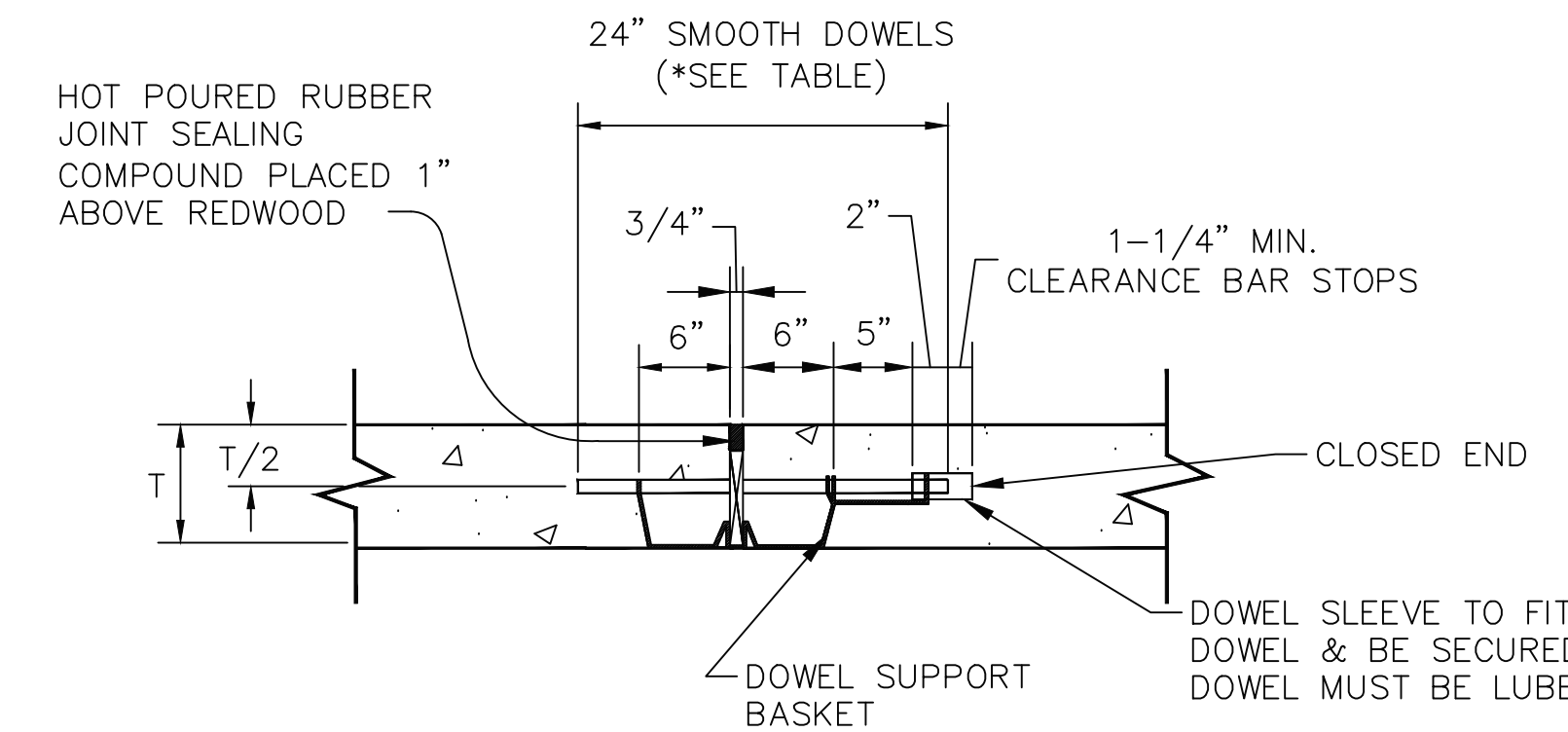
PAVEMENT HEADER

NTS REV: 7/25/17



PAVEMENT REINFORCING

NTS REV: 8/8/17



NOTES:

1. PAVEMENT STEEL IS NOT SHOWN FOR CLARITY AND SHALL STOP 3 INCHES FROM DOWEL BAR.
2. EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 600 FEET.
3. CURB EARS SHALL BE ASPHALT EXPANSION MATERIAL.

TRANSVERSE EXPANSION JOINT

NTS REV: 8/8/17

T	DOWEL SIZE	SPACING
LESS THAN 7"	NO. 6	12"
7" AND GREATER	NO. 8	12"

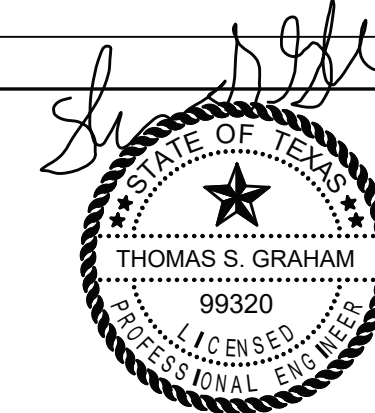
CITY OF ARLINGTON, TEXAS

TYPICAL DRIVE APPROACH ON A CONCRETE STREET

DATE:	SCALE: NTS	SHEET ____ OF ____
DESIGNED BY:	DRAWN BY:	CHECKED BY:

C4.1 PAVING DETAILS

SCALE: N.T.S.



THOMAS S. GRAHAM, PE
 2600 CINNAMON PARK CIR., #616
 ARLINGTON, TEXAS 76016
 OFFICE / CELL: (817) 966-7388
 email: engineerdsc@gmail.com

REVISIONS		
#	DATE	DESCRIPTION
1		

CONTRACTOR TO CONTACT ALL UNDERGROUND UTILITY COMPANIES PRIOR TO BEGINNING OF ANY EXCAVATION WORK. EXERCISE CAUTION WHEN WORKING IN AREA NEAR OVERHEAD ELECTRIC LINES

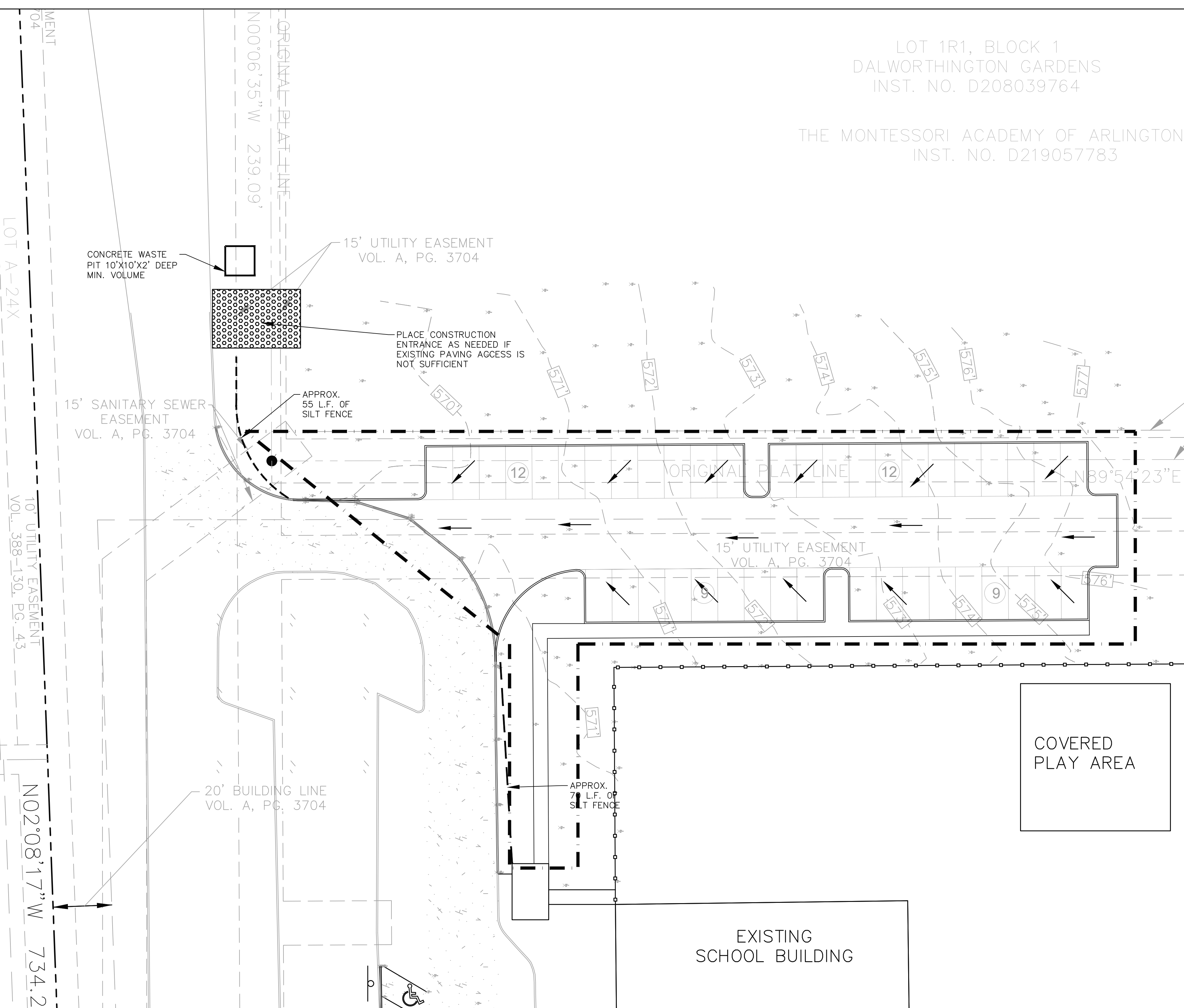
PARKING LOT PAVING ADDITION
 2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
 13.675 ACRES, LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS ADDN.
 CONTACT NAME: JOHN GUERIN, CONTRACTOR
 CONTACT COMPANY: A & G ENTERPRISES
 CONTACT PHONE: 817-641-0383

PROJECT NO. **23-531**
 SHEET NUMBER **C4.1**

AMANDA NO. 23-XXXXXX

LOT 1R1, BLOCK 1
DALWORTHINGTON GARDENS
INST. NO. D208039764

THE MONTESSORI ACADEMY OF ARLINGTON,
INST. NO. D219057783



EROSION GENERAL NOTES:

- STABILIZATION PRACTICES:
STABILIZATION PRACTICES SHALL INCLUDE THE FOLLOWING:
(A) PRESERVE EXISTING VEGETATION WHERE POSSIBLE.
(B) STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE, BUT NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED UNLESS CONSTRUCTION WILL RESUME ON THE PORTION OF THE SITE WITHIN 21 DAYS.
(C) INTERIM STABILIZATION METHODS MAY INCLUDE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PRESERVATION OF MATURE VEGETATIVE BUFFER STRIPS, AND OTHER APPROPRIATE MEASURES. IF CLEARING OF TREES OCCURS ON THE SITE AND MULCHING IS TO BE USED, THE CONTRACTOR MUST CONTACT THE PROJECT ENGINEER TO CONSIDER FEASIBLE AREAS WHERE MULCH CAN BE USED FOR TEMPORARY EROSION CONTROL.
(D) FINAL STABILIZATION TO BE MADE BY SODDING AND HYDROMULCHING DISTURBED AREAS WITH BERMUDA GRASS PER LANDSCAPING SHEET L1. NEWLY MULCHED AND SODDED AREAS SHALL BE WATERED REGULARLY. UNTIL HEAVY STAND OF GRASS IS ESTABLISHED OVER AT LEAST 80% OF THE DISTURBED AREA WITH NO BALD SPOTS. TEMPORARY EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL ALL AREAS HAVE BEEN ESTABLISHED WITH 80% GROWTH MINIMUM.
- THE CONTRACTOR SHALL PERFORM CONSTRUCTION OPERATIONS IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES DURING CONSTRUCTION. THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS TO CONTROL STORM WATER POLLUTANTS, AND TO CONTROL EROSION AND SEDIMENT FROM LEAVING THE SITE, INCLUDING DUST AND LITTER CONTROL.
- TRASH RECEPTACLES SHALL BE PROVIDED ON-SITE AND EMPTIED AT REGULAR INTERVALS. CONTRACTOR SHALL THOROUGHLY POLICE THE SITE AT LEAST ONCE DAILY. ALL LOOSE TRASH, SOLID REFUSE AND CONSTRUCTION DEBRIS SHALL BE PICKED UP AND DISPOSED OF IN THE RECEPTACLE TO ENSURE TRASH IS NOT BLOWN OFF THE SITE.
- THE CONTRACTOR SHALL LIMIT THE AREAS DISTURBED ON THE PROJECT SITE TO THE AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL PREVENT PERSONNEL, SUPPLIERS, AND SUBCONTRACTORS FROM DISTURBING AREAS OUTSIDE OF DESIGNATED CONSTRUCTION AREAS.
- AREA ESTIMATES:
TOTAL AREA ONSITE: 13.7 ACRES
ESTIMATED DISTURBED AREA ON-SITE: 0.47 ACRES
ESTIMATED DISTURBED AREA OFF-SITE: 0 ACRES
- AN SWPPP MUST BE PREPARED AND SUBMITTED BY EACH CONTRACTOR AND EACH MAJOR SUBCONTRACTOR. CONTRACTORS SHALL CONTACT THE UNDERSIGNED ENGINEER FOR A COPY OF THIS EROSION CONTROL PLAN TO BE INCLUDED IN EACH SWPPP.
- GENERAL CONTRACTOR TO SUBMIT AN ORIGINAL CONSTRUCTION SITE NOTICE TO THE CITY WHICH IS SIGNED BY A PRINCIPLE EXECUTIVE OF THE CONTRACTOR.
- CONTRACTOR SHALL POLICE SITE REGULARLY AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.

EROSION CONTROL SPECIFICATIONS

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DEVICES IN THE AREAS INDICATED ON THE EROSION CONTROL PLAN OR ANY OTHER AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE ELECTRICAL UTILITY, NATURAL GAS, TELEPHONE, AND CABLE TV CONTRACTOR SHALL RE-ESTABLISH ANY PREVIOUSLY ESTABLISHED EROSION CONTROL MEASURE OR DEVICE THAT IS DISTURBED BY THEIR CONSTRUCTION, INCLUDING VEGETATIVE COVER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION ON THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
- UPON COMPLETION OF FINE GRADING BY PAVING AND GRADING CONTRACTOR, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 80% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR AS REQUIRED BY THE CITY.
- CONTRACTOR SHALL INSTALL AND USE A TEMPORARY PIT OR BASIN FOR ON-SITE DISPOSAL OF CONCRETE WASTE FROM MIXING DRUMS AND CHUTES. WASTE MATERIAL WILL NOT BE DISCHARGED TO VACANT LOTS, STREETS AND DRAINAGE RIGHT-OF-WAYS, ETC.
- IF PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
- MAINTENANCE - EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. CONTRACTOR SHALL INSPECT EROSION DEVICES WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER.
- THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH HE DISTURBS. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.
- OFFSITE BORROW MATERIAL IS EXPECTED TO BE USED ON THIS PROJECT.
- NO OFFSITE EQUIPMENT STORAGE AREAS ARE EXPECTED TO BE USED.
- THERE ARE NO INDUSTRIAL DISCHARGES PLANNED FROM THIS SITE.
- ASPHALT AND / OR CONCRETE WILL ONLY BE PRODUCED AT SUPPLIERS' SITES.

EROSION CONTROL LEGEND

- CONCRETE WASTE PIT
- SILT FENCE
- ROCK STABILIZED ENTRANCE
- STORM DRAIN INLET PROTECTION
- SOLID WASTE REFUSE CONTAINER
- DISTURBED AREA BOUNDARY

NOTE:

ALL EROSION DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH CITY STANDARD EROSION CONTROL CONSTRUCTION DETAILS, SHEET 7.3 & 7.4 ATTACHED.
CONTRACTOR SHALL POLICE SITE REGULARLY AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.

BENCHMARK:
At x cut in top of curb inlet just inside of R.O.W. at northwest corner of this property.

Actual elevation 571.90'

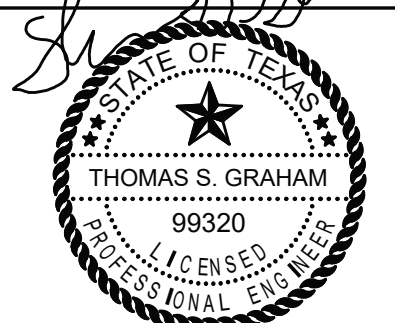
C5.0 EROSION CONTROL PLAN
SCALE: 1"=20'
GRAPHIC SCALE IN FEET

CONTRACTOR TO CONTACT ALL UNDERGROUND UTILITY COMPANIES PRIOR TO BEGINNING OF ANY EXCAVATION WORK. EXERCISE CAUTION WHEN WORKING IN AREA NEAR OVERHEAD ELECTRIC LINES

REVISIONS		
#	DATE	DESCRIPTION
1		

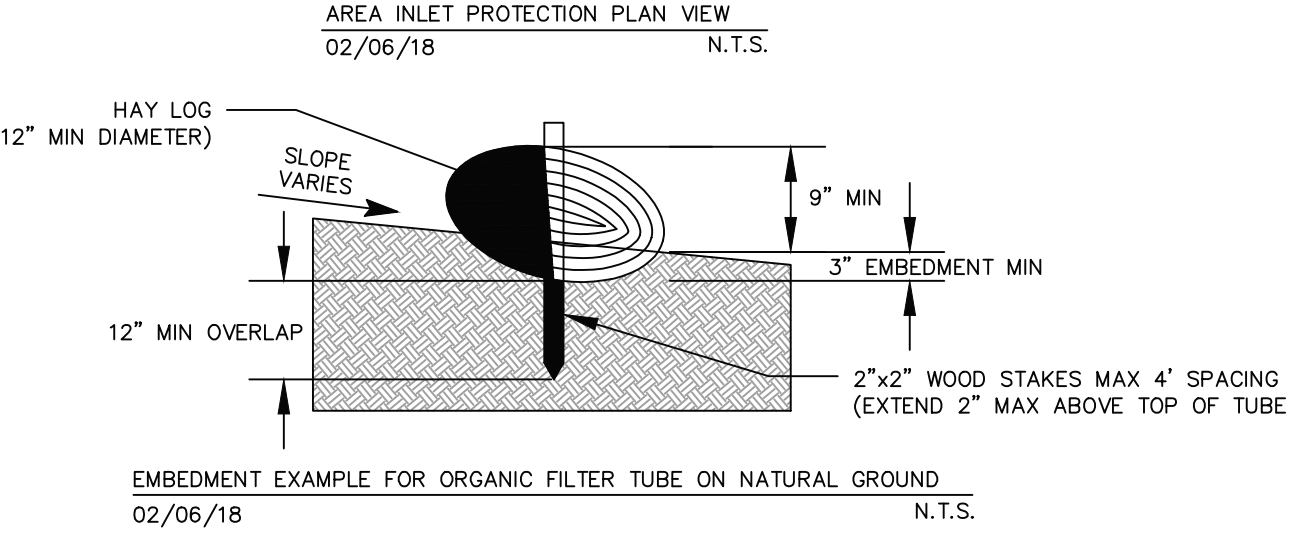
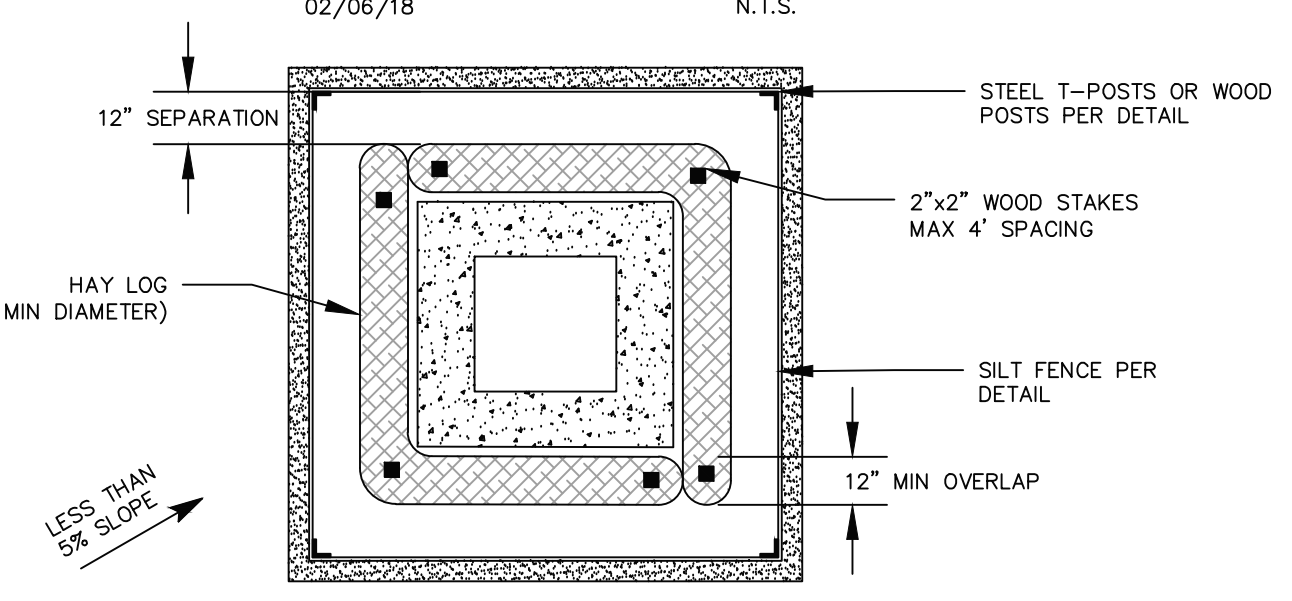
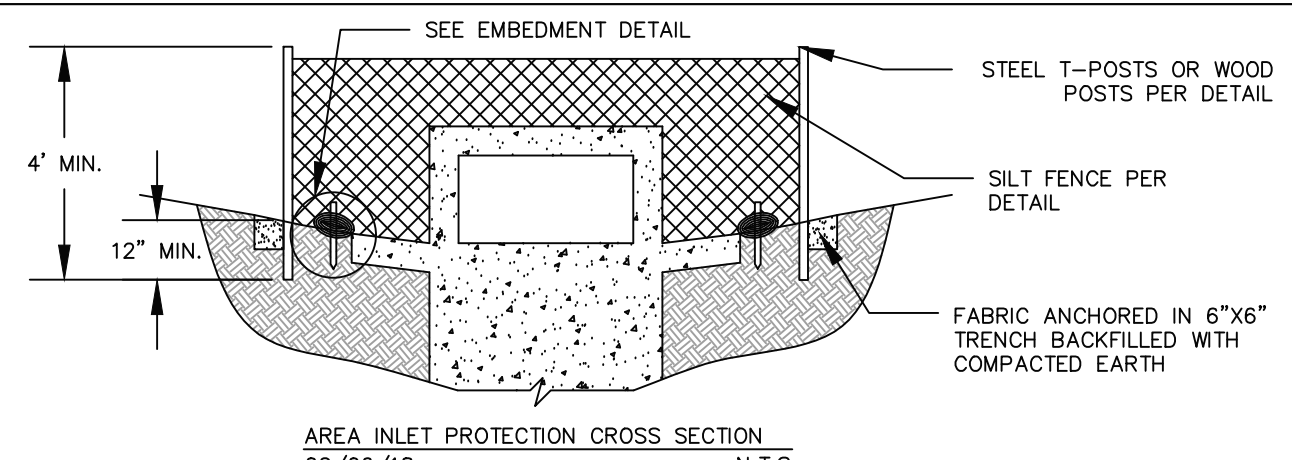
THOMAS S. GRAHAM, PE
2600 CINNAMON PARK CIR., #616
ARLINGTON, TEXAS 76016
OFFICE / CELL: (817) 966-7388
email: engineerdsc@gmail.com

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THOMAS S. GRAHAM, P.E. 99320 ON 10/27/23



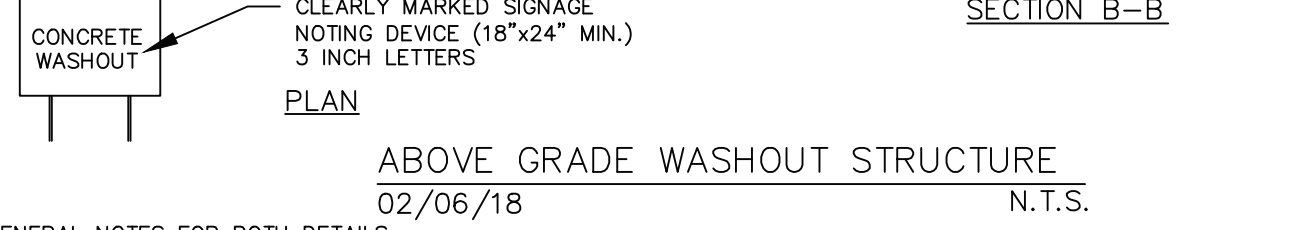
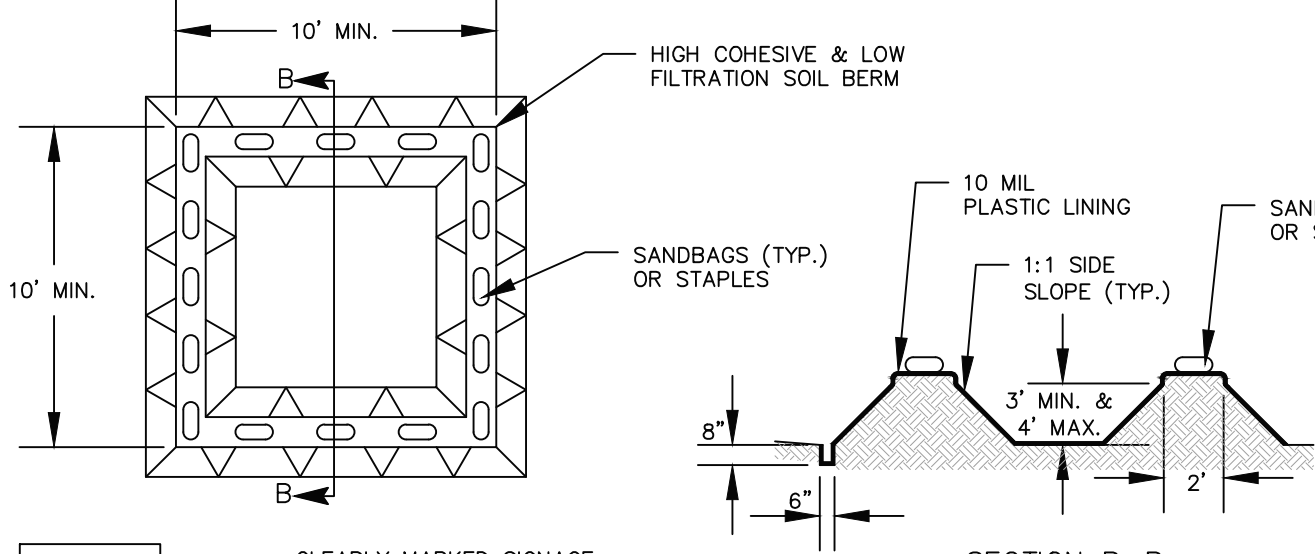
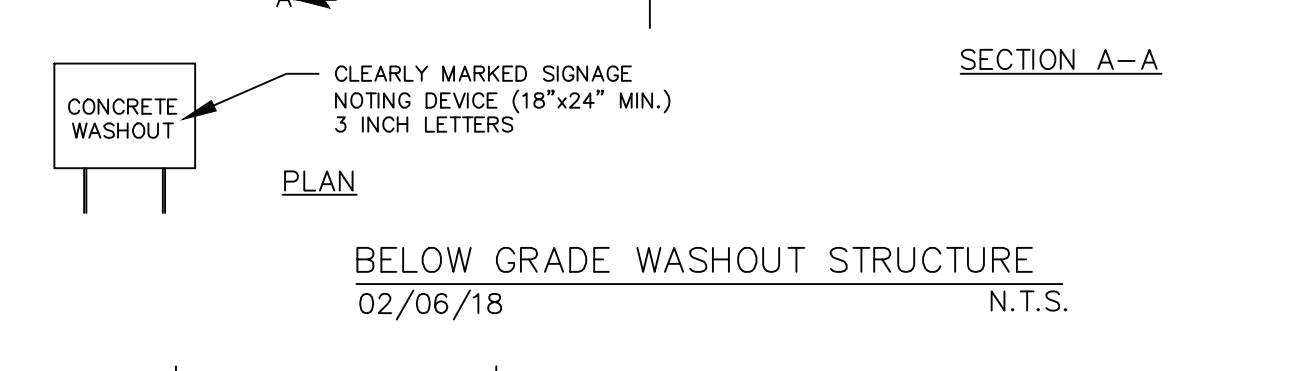
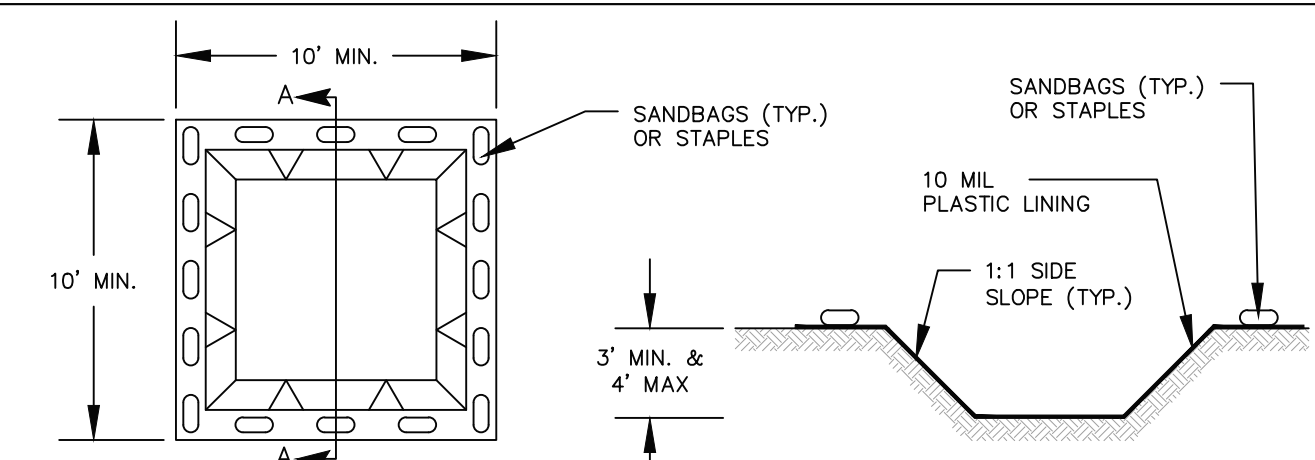
PARKING LOT PAVING ADDITION
2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
13.675 ACRES, LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS ADDN.
CONTACT NAME: JOHN GUERIN, CONTRACTOR
CONTACT COMPANY: A & G ENTERPRISES
CONTACT PHONE: 817-641-0383

PROJECT NO. 23-531
SHEET NUMBER **C5.0**



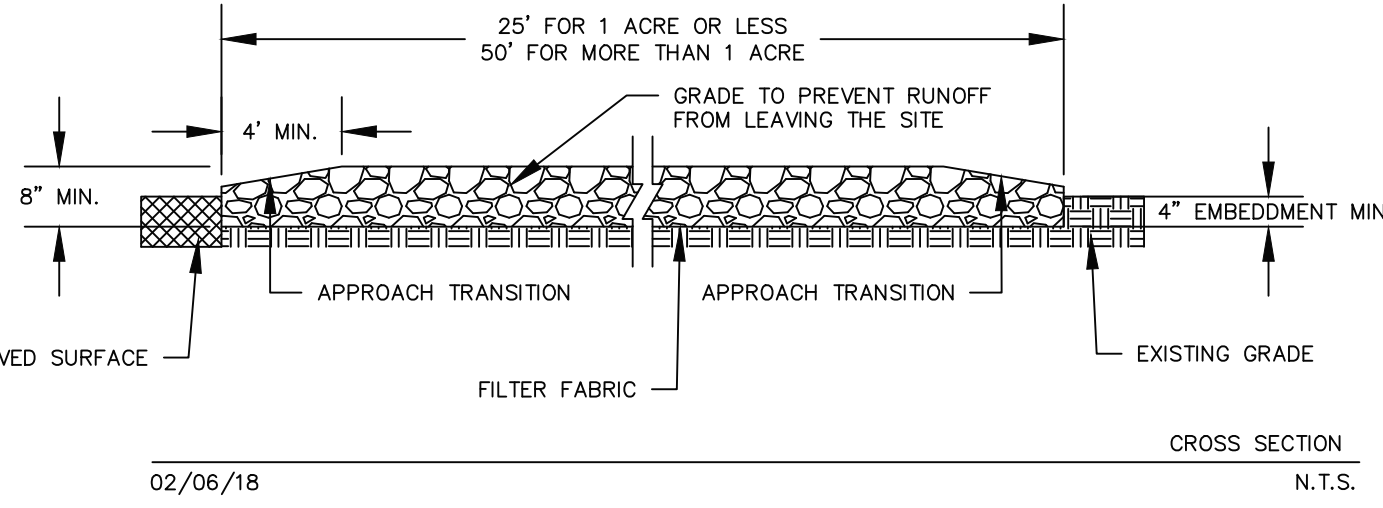
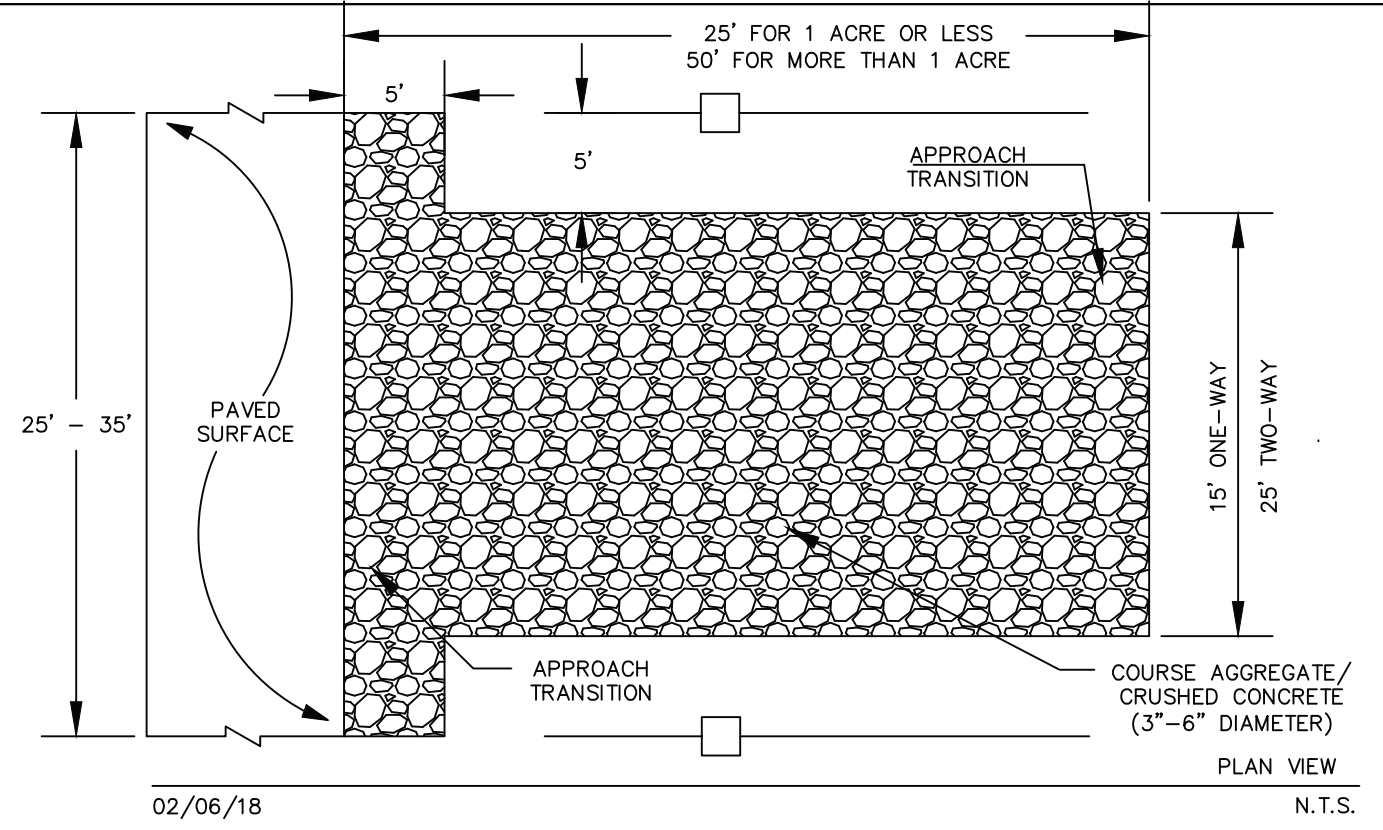
NOTES:
1. CONCENTRATED DITCH FLOW COMING FROM ONE OR MORE SIDES TOWARDS THE INLET MAY REQUIRE A STONE OVERFLOW STRUCTURE TO BE CONSTRUCTED ON ONE SIDE OF THE INLET (SEE SILT FENCE DETAIL).
2. POSTS SHALL BE INSTALLED AT EACH CORNER AND BETWEEN CORNERS IF THE DISTANCE IS GREATER 6' BETWEEN THE CORNERS.
3. SILT FENCE FILTER FABRIC MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS.

CITY OF ARLINGTON, TEXAS
AREA INLET PROTECTION
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:



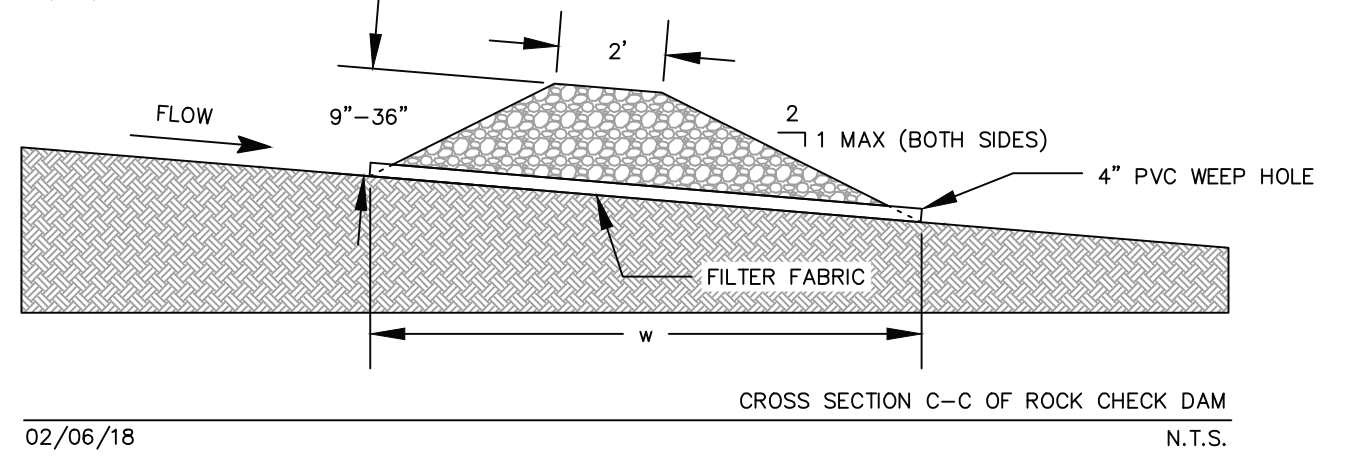
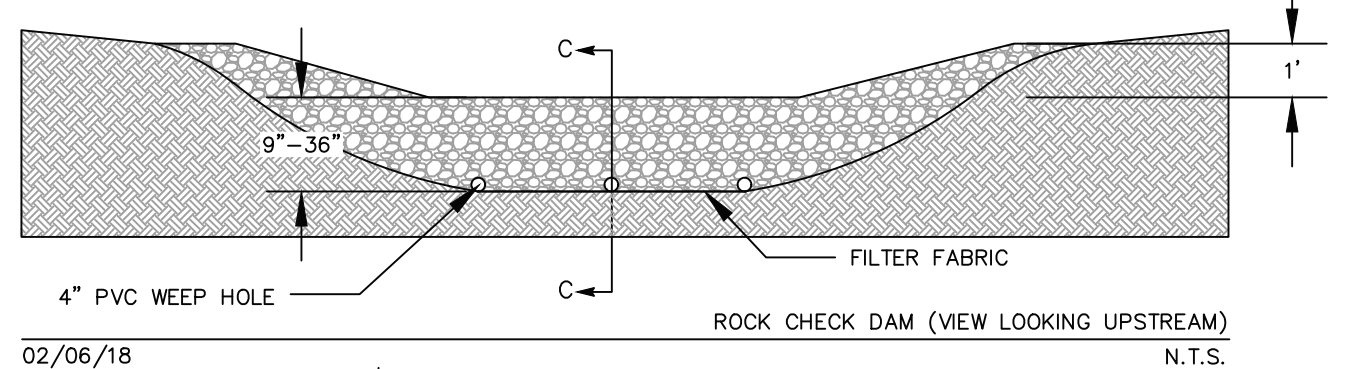
GENERAL NOTES FOR BOTH DETAILS:
1. LOCATION SHALL BE INDICATED ON THE PLANS.
2. THE CONCRETE WASHOUT STRUCTURES SHALL BE CLEANED OUT WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES' CAPACITY.
3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH A SIGNAGE NOTING DEVICE.
4. ANY PREFABRICATED CONCRETE WASHOUT BINS MUST BE APPROVED BY THE CITY PRIOR TO USE.

CITY OF ARLINGTON, TEXAS
CONCRETE WASHOUT
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:



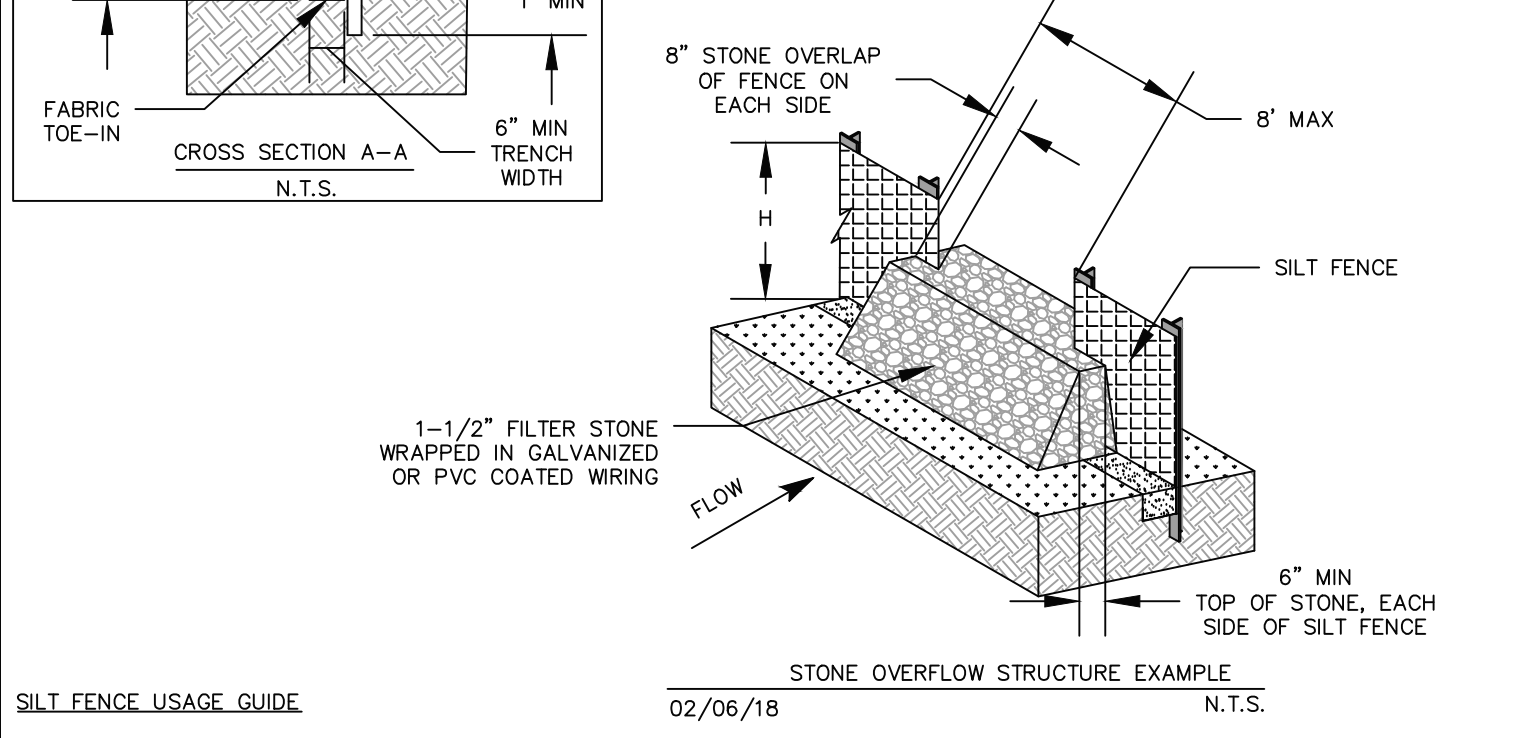
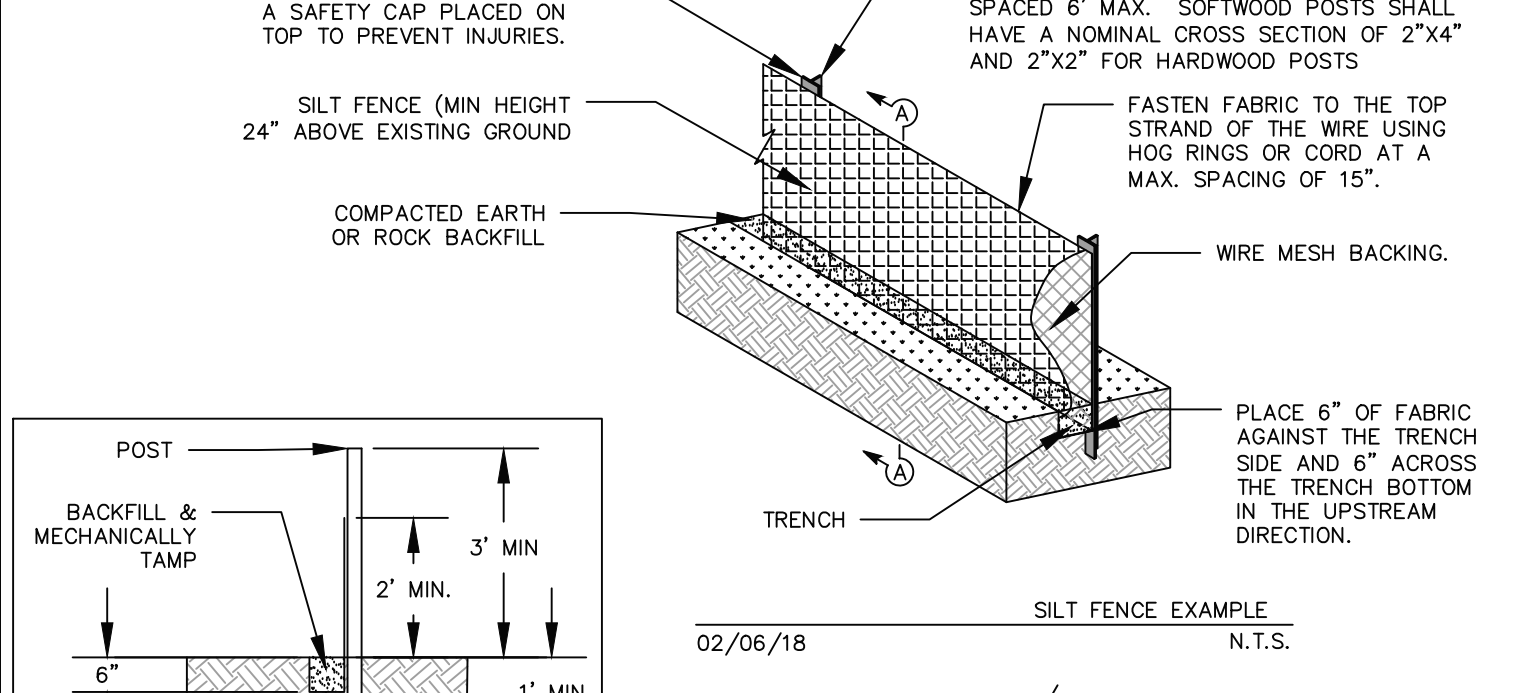
GENERAL NOTES:
1. APPROACH TRANSITIONS SHALL BE CONSTRUCTED AS DIRECTED BY THE CITY. USE CURB PROTECTION IF EXISTING CURB IS PRESENT. SEE TEMPORARY CURB PROTECTION DETAIL.
2. INSTALL BARRIERS ON THE SIDE OF THE ACCESS TO PREVENT TRAFFIC FROM SHORT-CUTTING THE FULL LENGTH OF THE ACCESS. USE SILT FENCE OR SIMILAR BARRIERS.
3. DO NOT PLACE THE ACCESS AT THE LOW POINT OF THE SITE.
4. GRADE THE CROSS SLOPE AWAY FROM STABILIZATION AND PAVED SURFACES AND DRAIN TO A SEDIMENT TRAP/OUTLET.
5. DIRECT DRAINAGE FROM THE ACCESS TOWARDS A CONTROLLED, STABILIZED OUTLET ON-SITE.
6. INSPECT AND ASSESS ROUTINELY FOR DAMAGE EFFECTIVENESS OF THE CONSTRUCTION ACCESS. REPAIR IF ACCESS IS CLOGGED WITH SEDIMENT OR AS DIRECTED BY THE CITY.
7. CONSTRUCTION ACCESS FILTER FABRIC MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS.

CITY OF ARLINGTON, TEXAS
CONSTRUCTION ACCESS
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:



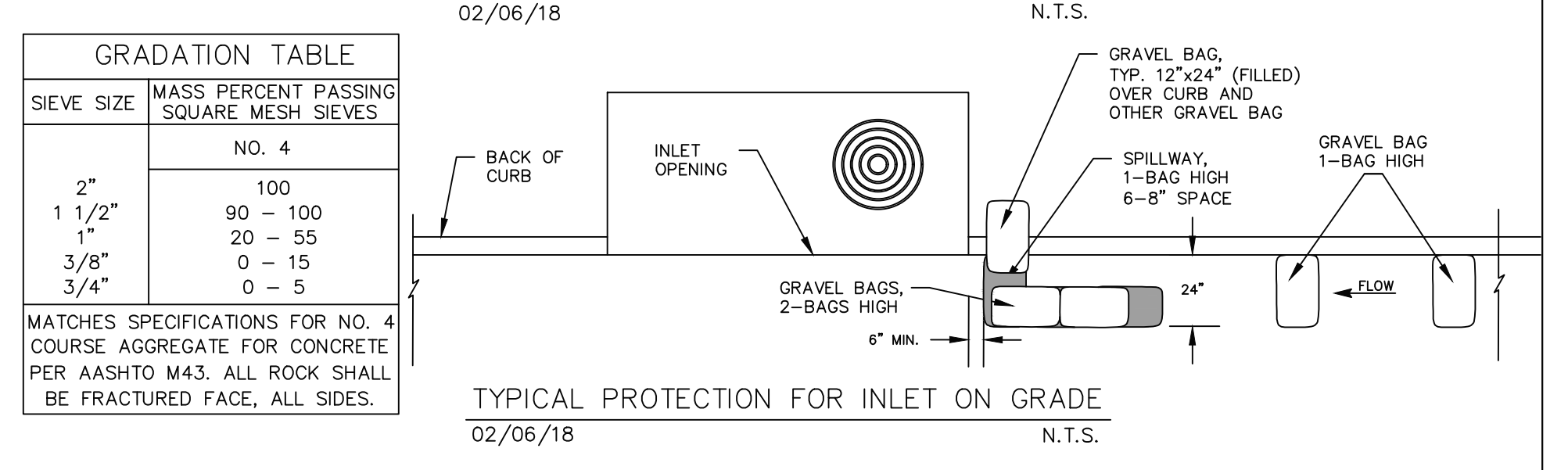
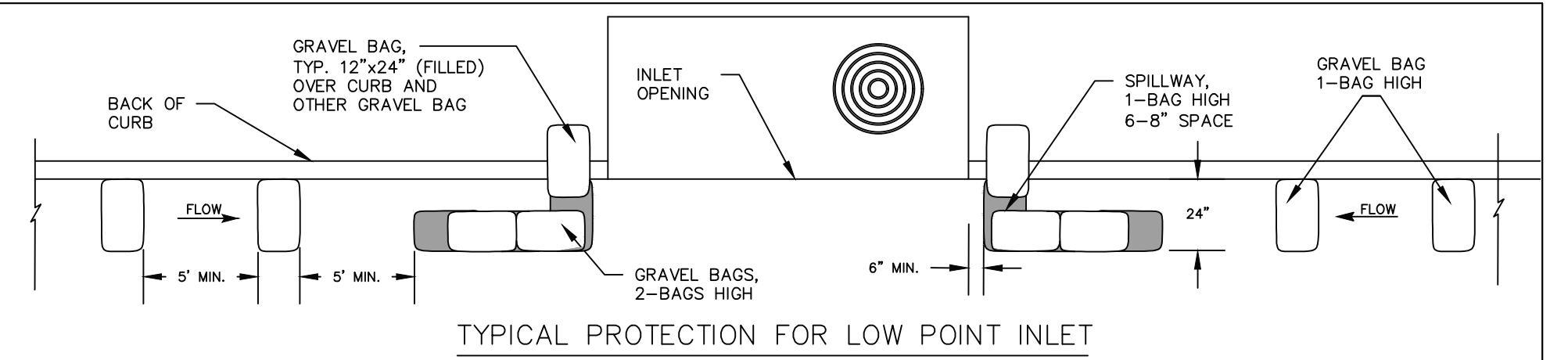
GENERAL DESIGN NOTES:
1. IF SHOWN ON THE PLANS OR DIRECTED BY THE CITY, CHECK DAMS SHALL BE PLACED NEAR THE TOE OF SLOPES WHERE EROSION IS ANTICIPATED, UPSTREAM AND/OR DOWNSTREAM AT DRAINAGE STRUCTURES, AND IN ROADWAY DITCHES AND CHANNELS TO COLLECT SEDIMENT.
2. THE HEIGHT OF THE CHECK DAM SHALL ALWAYS BE LESS THAN ONE-THIRD THE DEPTH OF THE CHANNEL.
3. CHECK DAMS SHALL BE SPACED SUCH THAT THE TOP OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM. ON CHANNEL GRADES LESS THAN 0.4 PERCENT, CHECK DAMS SHALL BE PLACED AT A DISTANCE THAT ALLOWS SMALL POOLS TO FORM BETWEEN EACH CHECK DAM.
4. THE SIDE OF THE DAMS SHALL BE EMBEDDED A MINIMUM OF 18 INCHES INTO THE SIDE OF THE DRAINAGE DITCH, SWALE OR CHANNEL TO MINIMIZE THE POTENTIAL FOR FLOWS TO ERODE AROUND THE SIDE OF THE DAM.
5. LARGER FLOWS (GREATER THAN 2-YEAR, 24-HOUR DESIGN STORM) MUST PASS THE CHECK DAM WITHOUT CAUSING EXCESSIVE UPSTREAM FLOODING.
6. ROCK CHECK DAMS SHALL BE INSPECTED REGULARLY. REMOVE SILT WHEN IT REACHES APPROXIMATELY ONE-THIRD THE HEIGHT OF THE DAM OR 12 INCHES, WHICHEVER IS LESS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE DRAIN PIPE TO ENSURE PROPER FLOW.

CITY OF ARLINGTON, TEXAS
ROCK CHECK DAM
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:



SILT FENCE USAGE GUIDE:
1. A SILT FENCE SHALL BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUNOFF.
2. SILT FENCE SHALL BE SIZED TO FILTER A MAXIMUM FLOW THROUGH RATE OF 1 CFS. MAXIMUM DRAINAGE AREA SHALL BE 0.25 ACRES PER 100 LINEAR FEET OF SILT FENCE.
3. SILT FENCE FABRIC SHALL OVERLAP AT ABUTTING ENDS A MIN. 3 FEET AND SHALL BE JOINED SUCH THAT NO LEAKAGE OR BYPASS OCCURS.
4. THE LAST 10 FEET (OR MORE) AT THE END OF A LINE OF SILT FENCE SHALL BE TURNED UPSLOPE TO PREVENT BYPASS OF STORMWATER.
5. DESIGN SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 300 FEET WHERE NO LOW POINT IS APPARENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DRAINAGE ON AND OFF OF ADJOINING PROPERTIES.
7. SILT FENCE FILTER FABRIC MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS.

CITY OF ARLINGTON, TEXAS
SILT FENCE
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:



GRADATION TABLE
SIEVE SIZE MASS PERCENT PASSING SQUARE MESH SIEVES NO. 4
2" 100
1 1/2" 90 - 100
1" 20 - 55
3/8" 0 - 15
3/4" 0 - 5
MATCHES SPECIFICATIONS FOR NO. 4 COURSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

NOTES:
1. GRAVEL BAGS SHALL BE MADE OF HIGH DENSITY POLYETHYLENE (HDPE) MONOFILAMENT FILTER FABRIC FROM HD SUPPLY (OR APPROVED EQUAL).
2. GRAVEL BAGS SHALL BE FILLED WITH 1/2" CLEAN, FRACTURE FACED GRAVEL AND WEIGH 40-50 LBS AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET.
3. GRAVEL BAGS SHALL BE 4" TO 6" HIGH WHEN PLACED AT THE CURB.
4. GRAVEL BAGS SHALL BE PLACED 6" OR MORE FROM THE OPENING OF THE INLET AND SHALL NOT EXTEND MORE THAN THE WIDTH OF ONE GRAVEL BAG PAST THE LIP OF THE GUTTER.
5. GRAVEL BAGS SHALL NOT BE PLACED IN FRONT OF DRIVEWAYS OPENINGS AND SHALL NOT BE PLACED WITHIN 15' OF A MAILBOX.
6. PROTECTION CAN BE EFFECTIVE EVEN IF IT IS NOT IMMEDIATELY ADJACENT TO THE INLET, PROVIDED THAT THE INLET IS PROTECTED FROM POTENTIAL SOURCES OF POLLUTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTINELY INSPECTING AND MAINTAINING GRAVEL BAGS.
8. GRAVEL BAGS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED BEYOND REPAIR.
9. SEDIMENTS SHALL BE REMOVED WHEN IT IS HALF THE HEIGHT OF ONE GRAVEL BAG.
10. GRAVEL BAGS MUST BE REMOVED AFTER ADJACENT OPERATIONS ARE COMPLETED.
11. FILTER FABRIC CURB INLET PROTECTION DETAIL MAY BE USED IN LIEU OF THIS DETAIL FOR ON GRADE CURB INLETS ONLY.

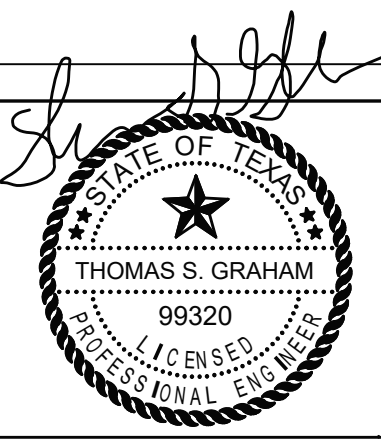
CITY OF ARLINGTON, TEXAS
CURB INLET PROTECTION
DATE: 02/06/18 SCALE: N.T.S. DESIGNED BY: EDC DRAWN BY: EDC CHECKED BY:

CONTRACTOR TO CONTACT ALL UNDERGROUND UTILITY COMPANIES PRIOR TO BEGINNING OF ANY EXCAVATION WORK. EXERCISE CAUTION WHEN WORKING IN AREA NEAR OVERHEAD ELECTRIC LINES

REVISIONS		
#	DATE	DESCRIPTION
1		

THOMAS S. GRAHAM, PE
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ARLINGTON, TEXAS 76016
OFFICE / CELL: (817) 966-7388
email: engineerds@gmail.com

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THOMAS S. GRAHAM, P.E. 99320 ON 10/27/23



PARKING LOT PAVING ADDITION
2230 ARKANSAS LANE, DALWORTHINGTON GARDENS, TX 76016
13.675 ACRES, LOT 2R, BLOCK 1, DALWORTHINGTON GARDENS ADDN.
CONTACT NAME: JOHN GUERIN, CONTRACTOR
CONTACT COMPANY: A & G ENTERPRISES
CONTACT PHONE: 817-641-0383

PROJECT NO. 23-531
SHEET NUMBER C5.1

C5.1 EROSION CONTROL DETAILS
SCALE: N.T.S.

From: [BBG Planning](#)
To: [Sandra Ma](#)
Subject: [EXTERNAL] Fw: Replet of Dalworthington Gardens Addition
Date: Monday, December 4, 2023 12:33:22 PM

Hey Sandra,

This is good to go! They are not creating any new lots.

Sincerely,

Ian Knox
TX BBG Consulting